



City Council Meeting Agenda

May 12, 2026
5:00 PM – Special Meeting
Council Chambers
400 N. Douty St.

Council Members will meet in-person in the Council Chambers. The meeting will also be lived streamed on the City's website: <http://livestream.hanford.city/>

5:00 PM CALL TO SPECIAL SESSION:

ROLL CALL :

PUBLIC COMMENT:

*Comments from the public are limited to items listed on the agenda (GC 54954.3a). A maximum of **three minutes** is allowed for each speaker. Please begin your comments by stating your name and providing your city of residence.*

GENERAL BUSINESS:

- A. Joint session between the Planning Commission and City Council to review the draft of the Objective Design Standards (ODS) for Single-Family Residential Development and provide direction prior to formal adoption

ADJOURNMENT:

Materials related to an item on this Agenda submitted to the City Council after distribution of the agenda packet are available to public inspection in the City Clerk's Office located at 319 N. Douty Street, Hanford, California 93230, during normal business hours. Such agendas are also available at the city's website, www.cityofhanfordca.com subject to staff's ability to post the agenda before the meeting. If you need a disability-related modification or accommodation, including auxiliary aids or services, to participate in this meeting, please contact the City Clerk's office, 559-585-2515, 319 N. Douty Street, Hanford, California 93230, at least 2 days prior to the meeting {28 CFR 35.102.35.104 ADA Title II}



AGENDA STAFF REPORT

MEETING DATE: 5/12/2026	AGENDA SECTION: GENERAL BUSINESS
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SUBJECT:

Joint session between the Planning Commission and City Council to review the draft of the Objective Design Standards (ODS) for Single-Family Residential Development and provide direction prior to formal adoption

RECOMMENDATION:

Recommendation: Conduct a joint session between the Planning Commission and City Council to review the draft of the Objective Design Standards (ODS) for Single-Family Residential Development and provide direction prior to formal adoption

BACKGROUND:

In March 2025, the City of Hanford launched a comprehensive planning initiative to develop an Environmental Justice Element, establish Objective Design Standards for Housing, and update the City's Subdivision Regulations. This effort is fully funded through the Regional Early Action Planning (REAP) Grant Program.

The City of Hanford has been working with Mintier Harnish to prepare Objective Design Standards for Single-Family Residential Development in response to recent State legislation and evolving housing requirements intended to streamline housing production while maintaining high-quality neighborhood design.

Objective Design Standards are intended to provide clear, measurable, and objective criteria for residential development projects. These standards establish predictable development expectations for applicants, reduce subjectivity in the review process, and assist the City in complying with State housing law requirements.

The draft standards have been developed concurrently with the City's broader housing and zoning initiatives, including:

- The Environmental Justice Element;
- Objective-based housing standards updates;
- Subdivision Ordinance updates; and
- Ongoing General Plan implementation efforts.

The proposed standards are intended to apply citywide to new single-family residential subdivision development and are designed to support existing zoning and specific plan standards. The standards

establish objective requirements related to:

- Site design;
- Setbacks and lot standards;
- Open space;
- Landscaping;
- Fencing and screening;
- Parking and circulation;
- Building articulation and massing;
- Fenestration; and
- Roof design.

KEY COMPONENTS OF THE DRAFT STANDARDS

1. Small-Lot Residential Development Standards

The draft standards establish objective development criteria for projects with lot sizes ranging from 2,800 square feet to 4,999 square feet. These provisions are intended to:

- Encourage a wider variety of housing products;
- Support attainable homeownership opportunities;
- Promote efficient land use patterns;
- Maintain neighborhood compatibility; and
- Ensure functional site design despite reduced lot dimensions.

The standards include modified setbacks, driveway limitations, garage design requirements, pedestrian access requirements, and minimum open space standards intended to maintain neighborhood quality while accommodating smaller lot configurations.

2. Setback and Garage Standards

The standards include revised setback and garage placement requirements intended to improve streetscape quality.

Key provisions include:

- Reduced front, side, and rear setbacks;
- Requirements for offsetting front-loaded garages;
- Rear-loaded garage standards;
- Side-loaded garage placement standards; and
- Maximum garage width limitations.

3. Architectural Design Standards

The draft standards establish objective architectural requirements intended to promote visual interest and neighborhood character while avoiding subjective design review.

The standards address:

- Building articulation;
- Porch and patio requirements;
- Roof articulation;
- Window placement and fenestration;
- Exterior materials and colors; and
- Primary entry design.

The standards are designed to ensure residential projects incorporate architectural variation and pedestrian-oriented design elements while remaining objective and measurable.

4. Landscaping and Streetscape Design

The draft standards emphasize water-efficient landscaping and streetscape quality through:

- Compliance with State water-efficient landscape requirements;
- Use of climate-appropriate plant materials;
- Tree replacement requirements;
- Landscape easement standards along arterial and collector streets;
- Street light location standards; and
- Enhanced pedestrian connectivity standards.

These provisions are intended to improve neighborhood aesthetics, support long-term sustainability goals, and reinforce the City's broader community design objectives.

The current draft provides City Council, Planning Commission, and the public an opportunity to comment on proposed development standards prior to formal adoption consideration.

FISCAL IMPACT:

There is no immediate fiscal impact associated with the review of the Objective Design Standards.

ATTACHMENTS:

1. Draft Objective Design Standards



Administrative Draft
May 2026

Objective Design Standards for Single-Family Residential Development

City of Hanford

Prepared for:

City of Hanford
Community Development Department
Planning Division
317 N Douty Street
Hanford, CA 93230
559-585-2500
jwaters@hanfordca.gov

Prepared by:

Mintier Harnish
1414 20th Street
Sacramento, California 95811
(916) 446-0522
FAX (916) 446-7520
office@mintierharnish.com

mintierharnish
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Acknowledgements

City Council

Travis Paden – District A
Kimber Regan – District B
Vice Mayor Nancy Howze – District C
Lou Martinez – District D
Mayor Mark Kairis – District E

Planning Commission

Garry Curtis – Commissioner
Gunther Norris – Commissioner
Richard Douglas – Vice Chair
James Nelson – Commissioner
Dennis Ham – Chair
Bernardo Marez - Alternate

Planning Division

Jason Waters, Deputy City Manager
Gabrielle Myers, Principal Planner
Mark Manha, Associate Planner
Maddison Faria, Assistant Planner

Consultants

Mintier Harnish

Jim Harnish, JD – Project Director
Brent Gibbons, AICIP – Project Manager
Michael Gibbons – Assistant Project Manager
Hannah Woolsey – Planner

City of Hanford

Objective Design Standards for Single-Family Residential Development

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A. GENERAL STANDARDS

1. **Purpose.** This Section outlines design standards for new single-family residential subdivision development to:
 - a. Provide minimum objective design criteria for future development;
 - b. Streamline the design review process, provide predictability regarding permit applications and approvals, and reduce potential constraints to these types of development; and
 - c. Ensure that essential design elements, such as massing and articulation, structure frontage, ventilation, access, parking, open space, and landscaping, are adequately addressed. [Source: NEW]
2. **Applicability.** The standards established in this Section shall apply citywide to all subdivision and development of lots with single-family dwelling development, as allowed in Chapter 17.08 (Land Use Tables) and as defined in Chapter 17.96 (Definition of Land Uses). [Source: NEW]
3. **Relationship to Specific Plans and Zoning Ordinance Regulations.** The design standards of this Section supplement and are in addition to the development standards for the applicable zone, Specific Plan(s) in which a proposed project is located, and other applicable standards in the Zoning Ordinance. Any standards not stated herein shall utilize the applicable standards in the Zoning Ordinance. In the event of any conflict between the provisions of this Section and other City regulations, the following shall apply: [Source: NEW]
 - a. In the event of any conflict between the provisions of this Section and other regulations of the Zoning Ordinance, the requirements of this Section shall apply.
 - b. In the event of any conflict between the requirements of this Section and standards adopted as part of any specific plan, the requirements of the specific plan shall control.

B. DEFINITIONS

1. **Articulation.** The way portions of a structure form are expressed (e.g., materials, texture, pattern, modulation) and come together to define the structure.
2. **Awning.** A roof-like covering that is attached to a structure and used to keep the sun or rain off a storefront, window, doorway, deck, or other portion of a structure. Also known as an overhang.
3. **Façade.** Any exterior wall of a structure. [Source: 17.98.020, modified]
4. **Fenestration.** The arrangement, design, and proportion of windows and doors on a structure.
5. **Massing.** The three-dimensional bulk of a structure, including height, width, and depth.
6. **Modulation.** The projection and recession of sections of a façade of a structure that break up continuous exterior walls to create visual interest.
7. **Patio.** An at-grade entry and outdoor area for a single ground floor dwelling unit which is separated from adjacent dwelling units by a barrier such as a low wall or a hedge.
8. **Porch.** A covered outdoor area which covers the structure entry and is open on at least two sides.

9. **Primary Entry.** The primary entrance to a structure that provides access to the residence.
10. **Private Open Space.** Privately-owned or controlled outdoor space for use by a single dwelling unit's residents, exclusively used by occupants of a specific dwelling unit and their guests.
11. **Shared Off-Street Parking.** A portion of a site dedicated to off-street parking for use by all tenants and visitors of a development, including parking spaces, aisles, access driveways, and landscaped areas. [Source: NEW]
12. **Shared Open Space.** Privately-owned or controlled outdoor space for exclusive use by the residents of multiple dwelling units on a single parcel and their guests.
13. **Street-Facing Façade.** A façade of the structure that faces a street.

C. SINGLE-FAMILY RESIDENTIAL DEVELOPMENT DESIGN STANDARDS

This Section outlines design standards for the subdivision and development of single-family dwellings, as defined in Chapter 17.96 (Definition of Land Uses). The purpose of these design standards is to provide minimum objective design criteria for new single-family residential neighborhood development, streamline the design review process, provide predictability regarding permit applications and approvals, reduce potential constraints to these types of development, and ensure that essential design elements, such as massing and articulation, structure frontage, ventilation, access, parking, open space, and landscaping, are adequately addressed. [Source: NEW]

1. **Site Standards.** Single-family residential project lots shall be designed in compliance with the following requirements: [Source: NEW]
 - a. **Lot Size, Setbacks, Distance Between Structures, and Structure Height.** Single-family residential project lots shall comply with the following site standards based on lot size: [Source: NEW]
 - (1) **Minimum Lot Size.** The minimum lot size for single-family residential projects shall be 2,800 square feet or larger. Projects with lot sizes ranging from 2,800 to 4,999 square feet shall comply with the site and structure standards in Subsection 1.a.3 below, in addition to other applicable standards of this Section. [Source: NEW]
 - (2) **Distance Between Structures.** Single-family dwelling units shall be located a minimum of six feet from other on- or off-site structures, except as provided by the Building Code. [Source: NEW]
 - (3) **Standards for Lots 2,800 to 4,999 Square Feet in Area.** Single-family residential projects with lots between 2,800 and 4,999 square feet in area shall comply with all applicable site standards of the base zone, with the exception of the following site standards:
 - (a) **Number of Lots Per Project.** Up to 650 lots between 2,800 and 4,999 square feet in size may be approved per tentative subdivision map. [Source: 17.10.100, modified]
 - (b) **Setbacks.** Single-family dwelling units up to two stories in height shall comply with the following setbacks. Structures three or more stories in height shall comply with all

applicable setback standards of the base zone. [Source: 17.10.100 (B), modified]

- i. **Front Setback.** Minimum of 12 feet from the front lot line for structure frontage.

1. **Dwellings with Front-Loaded Garage.**

Minimum of 18 feet for a front-loaded garage. The structure frontage shall be offset from the garage and located a minimum of two feet in front of or behind the front garage setback. [Source: NEW]

- ii. **Rear Setback.** Minimum of 10 feet from the rear lot line for structure. Rear-loaded garages shall be set back a minimum of 25 feet from the far side of the alley, provided that the garage, including roof overhangs, does not extend into the alley right-of-way (see Section 17.50.160 (Measurement of Building Setback Areas). [Source: NEW]

- iii. **Side Setbacks.**

1. **Interior Side Setbacks.** Minimum of five feet from the interior lot line, except for the following:

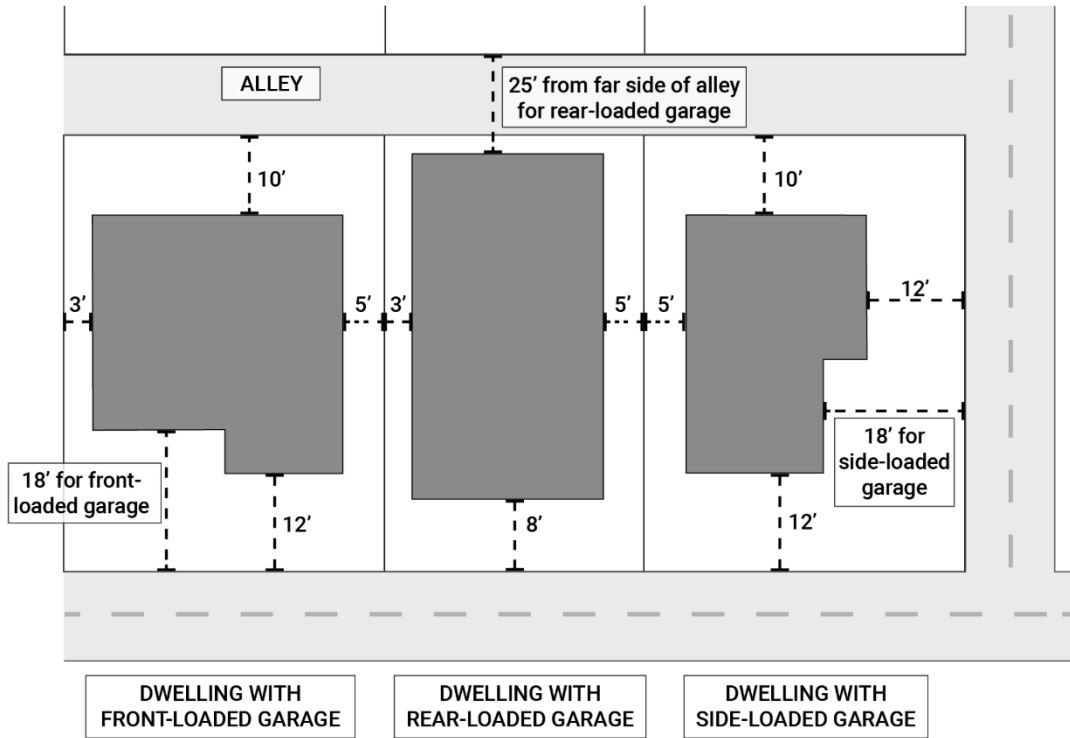
- a. On lots with two interior side setbacks, one setback shall be a minimum of three feet and one shall be a minimum of five feet. [Source: NEW]

2. **Street Side Setbacks.** Minimum of 12 feet from the street side lot line, except for the following:

- a. Where there is a landscape easement or landscape lot with a wall or fence on the street side of the lot the side yard setback area shall be measured from the easement area instead of the side lot line.

3. **Dwellings with a Side-Loaded Garage.** Minimum of 18 feet for a side-loaded garage.

Figure ODS-1: Minimum Setbacks for Small-Lot Residential Projects



(4) **Standards for Lots 5,000 Square Feet or Larger in Area.** Single-family residential projects with lots 5,000 square feet or larger shall comply with all applicable site standards of the base zone, except for the following site standards: [Source: NEW]

(a) **Setbacks.** Single-family dwelling units up to two stories in height shall comply with the following setbacks. Structures three or more stories in height shall comply with all applicable setback standards of the base zone. [Source: NEW]

i. **Front Setback.** Minimum of 13 feet from the front lot line for street-facing façade.

1. **Dwellings with Front-Loaded Garages.**

Minimum of 20 feet for a front-loaded garage. The structure frontage shall be offset from the garage and located a minimum of two feet in front of or behind the front garage setback. [Source: NEW]

ii. **Rear Setback.** Minimum of 10 feet from the rear lot line for structure. Rear-loaded garages shall be set back a minimum of 25 feet from the far side of the alley, provided that the garage, including roof overhangs, does not extend into the alley right-of-

way (see Section 17.50.160 (Measurement of Building Setback Areas)). [Source: NEW]

iii. **Side Setbacks.**

1. **Interior Side Setbacks.** Minimum of five feet from the interior lot line, except for the following:

a. On lots with two interior side setbacks, one setback shall be a minimum of three feet and one shall be a minimum of five feet. [Source: NEW]

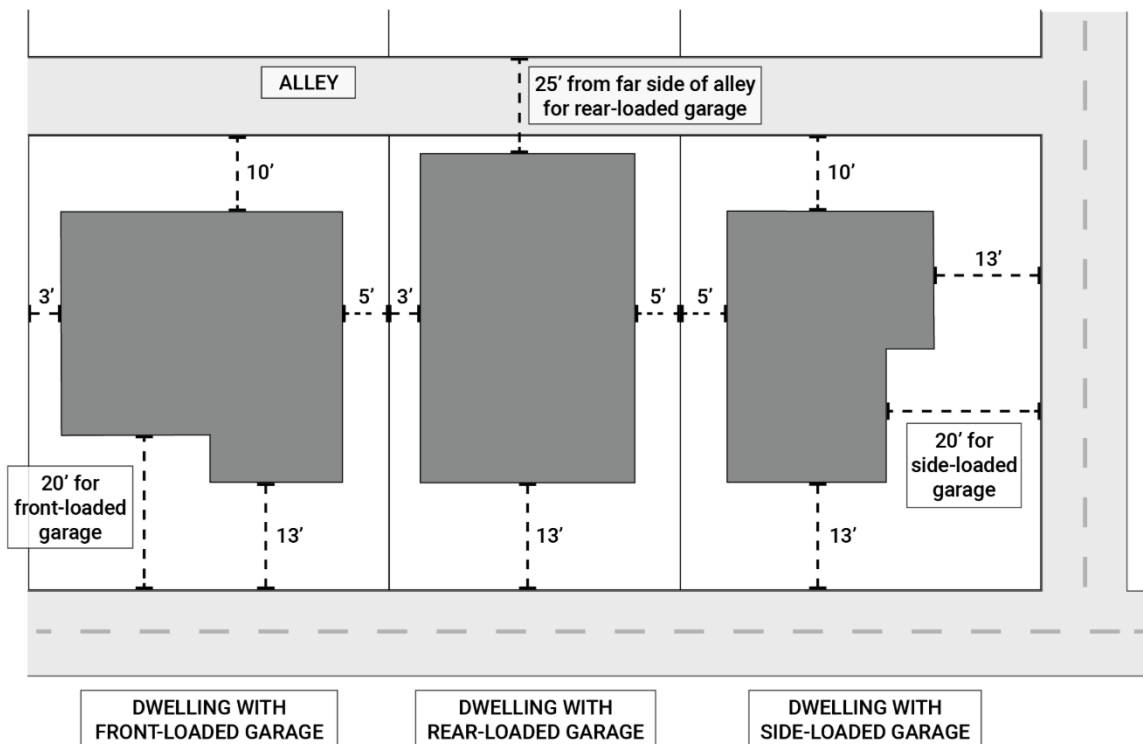
2. **Street Side Setbacks.** Minimum of 13 feet from the street side lot line, except for the following:

a. Where there is a landscape easement or landscape lot with a wall or fence on the street side of the lot the side yard setback area shall be measured from the easement area instead of the side lot line.

3. **Dwellings with a Side-Loaded Garage.**

Minimum of 20 feet for a side-loaded garage.

Figure ODS-2: Minimum Setbacks for Residential Projects 5,000 Square Feet or Larger (One to Two Stories Only)



b. Open Space and Amenities.

(1) **General.** Open space shall be provided in compliance with the following:

(a) **Minimum Dimensions.** Any provided common open space area shall have minimum dimensions of 10 feet on any side.

[Source: NEW]

(b) **Multiple Dwellings.** Open space on lots with multiple dwelling units may be combined into a single on-site shared open space area, provided that all dwelling units have access to the area and shall have minimum dimensions of 12 feet on any side. [Source: 17.12.150, modified]

(2) **Minimum Open Space.** Open space shall be provided in compliance with the following requirements, based on lot size and zone:

[Source: 17.10.150, 17.12.150, 17.14.140, 17.24.110, 17.26.110, modified]

(a) **Lots 2,800 to 4,999 Square Feet in Area.** Single-family residential projects with lots between 2,800 and 4,999 square feet in area shall provide a minimum of 250 square feet of private open space per dwelling unit. If provided, shared open space shall comply with the minimum dimensions in Section C.1.b(1). [Source: NEW]

(b) **Lots 5,000 Square Feet or Larger in Area.** Single-family residential projects with lots of 5,000 square feet or larger shall meet or exceed the following minimum open space area requirements: [Source: NEW]

i. **Single-Family Residential Zones.** Minimum 400 square feet of private open space per dwelling unit. If provided, shared open space shall comply with the minimum dimensions in Section C.1.b(1).

ii. **Multi-Family Residential Zones.** Minimum 300 square feet of private open space per dwelling unit. If provided, shared open space shall comply with the minimum dimensions in Section C.1.b(1).

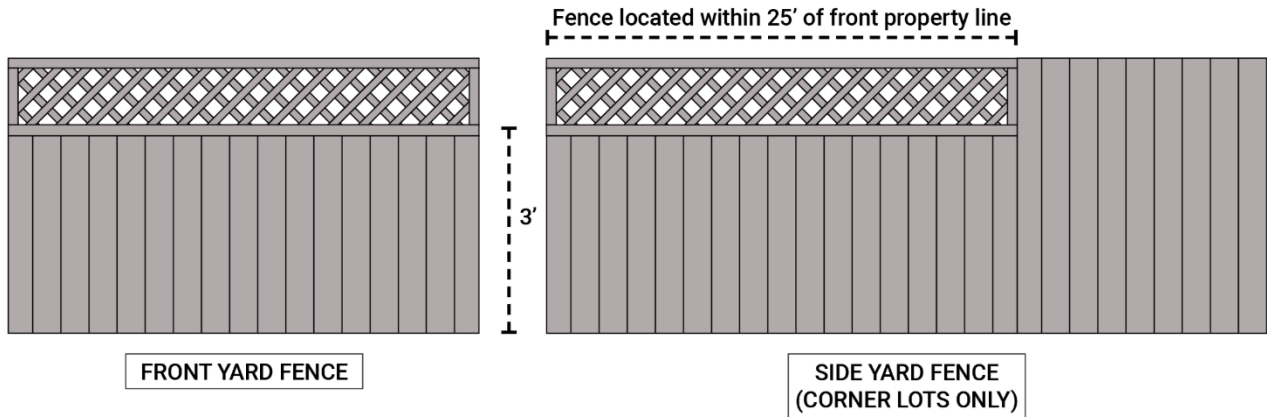
(3) **Allowed Open Space and Amenities.** Private open space may consist of ground-level decks, covered or uncovered patios, fenced yards, swimming pools, landscaped areas, and other similar areas outside a dwelling unit that are exclusively used by occupants of a specific dwelling unit and their guests. All private open spaces shall be fully enclosed on a minimum of three sides with a fence, wall, or hedge. Private open space structures and amenities shall comply with all applicable Building Code and Fire Code standards. [Source: NEW]

- c. **Landscaping.** Landscaping shall be provided and designed in compliance with all applicable landscaping standards of the base zone, in addition to the following standards: [Source: NEW]
- (1) **Allowed Plant Materials.** Plant species used for the purpose of landscaping, excluding any established on-site plants or trees, shall comply with a minimum of one of the following:
 - (a) Plant or tree species appropriate for planting in USDA Hardiness Zone 9a and/or EPA Ecoregion 10 (North American Deserts); and/or [Source: 17.10.160, modified]
 - (b) Tree species listed on the City of Hanford Master Tree List. [Source: NEW]
 - (2) **Trees.** Any provided trees shall be maintained, including, but not limited to, pruning, trimming, watering, and other applicable tree care and maintenance. Any removed trees shall be replaced with a tree consistent with the requirements of this Section within six months of removal. [Source: NEW]
 - (3) **Water Efficiency.** All provided landscaping shall comply with the following: [Source: NEW]
 - (a) City of Hanford, Chapter 12.08 (Water Efficient Landscape Design and Installation); and
 - (b) California State Model Water Efficient Landscape Ordinance, Sections 490 – 495, Chapter 2.7, Division 2, Title 23 in the California Code of Regulations.
 - (4) **Landscape Easement.** Lots 5,000 square feet or larger in area developed adjacent to an arterial or collector street shall be designed with a landscape easement or landscape lot between five and 10 feet in width. All provided landscape easements shall be continuous and adjacent to the street right-of-way line. Minimum lot dimensions are exclusive of the landscape easement area. A wall or fence may be located in the landscape easement area adjacent to the easement line. [Source: 17.14.040, modified]
- d. **Fences and Screening.** Fences and walls shall be provided on the lot for each use in accordance with Section 17.50.110 (Fences and Walls), 17.50.120 (Fence and Wall Locations), and all applicable fence standards of the base zone, in addition to the following standards: [Source: 17.10.170, modified]
- (1) **Front and Corner Side Yard Fences.**
 - (a) When constructed three feet or more in height, the portion of fences exceeding three feet shall be constructed of a material that meets or exceeds a minimum visibility percentage of 50 percent, including, but not limited to, wrought iron, lattice fencing, and slat fencing. This standard shall apply to the entirety of front yard fences and any side yard fences located within 25 feet of the front property line

for corner lots. [Source: Downtown Hanford Architectural Design Guidelines, 14.3, modified]

- (b) Fences and walls within 25 feet of the corner of a corner lot shall comply with all sight triangle standards in Section 17.50.110 (Fences and Walls). [Source: NEW]

Figure ODS-3: Fencing Requirements



e. Utilities and Services.

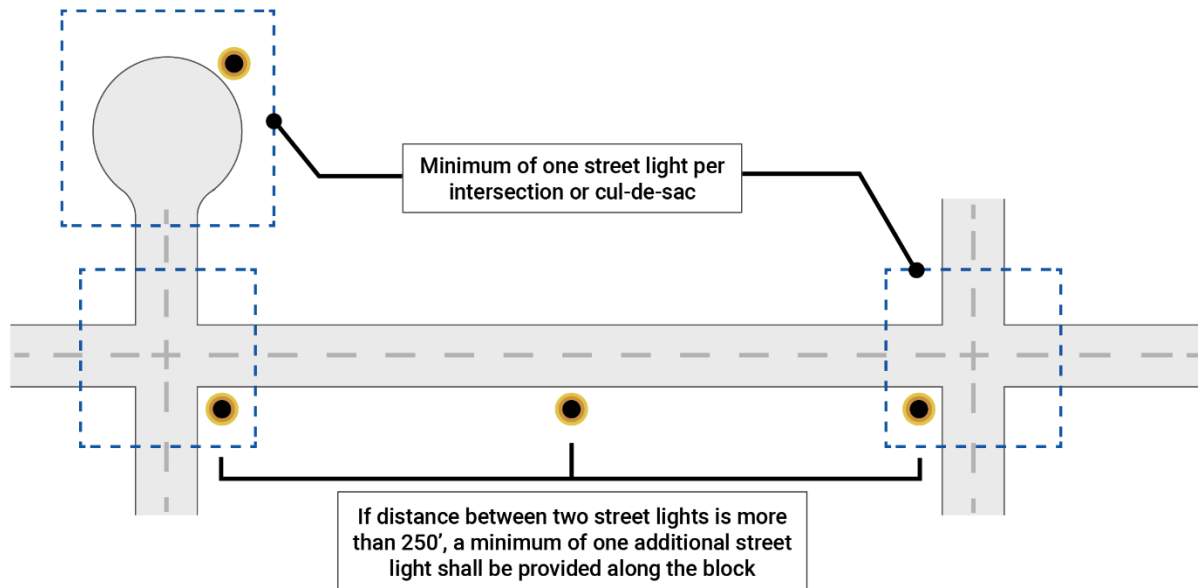
(1) Exterior Lighting. Exterior lighting shall be provided in compliance with Section 17.50.140 (Outdoor Lighting Standards), in addition to the following standards: [Source: NEW]

(a) Distance Between Light Fixtures. Light fixtures shall be provided at the following intervals: [Source: NEW]

i. Street Light Fixtures. Street light fixtures shall be provided at the following intervals:

- 1. Intersections and Cul-De-Sacs.** A minimum of one street light per intersection or cul-de-sac.
- 2. Maximum Distance.** If the distance between two street light fixtures is larger than 250 feet, as measured along the street right-of-way centerline, a minimum of one street light fixture shall be provided along the street block.

Figure ODS-4: Minimum Street Light Fixture Intervals



ii. **Exterior Structure Light Fixtures.** A minimum of one exterior light fixture shall be provided within three feet of both the primary entry and the garage door.

(b) **Height.** Outdoor lighting provided along pedestrian pathways shall be a maximum of 14 feet in height. Outdoor lighting along public sidewalks shall comply with all applicable height requirements of Section 17.50.140 (Outdoor Lighting Standards).

(2) **Mechanical Equipment.** All on-site mechanical equipment shall comply with all applicable site standards of the base zone, including setbacks and minimum screening requirements. [Source: NEW]

f. **Parking and Circulation.**

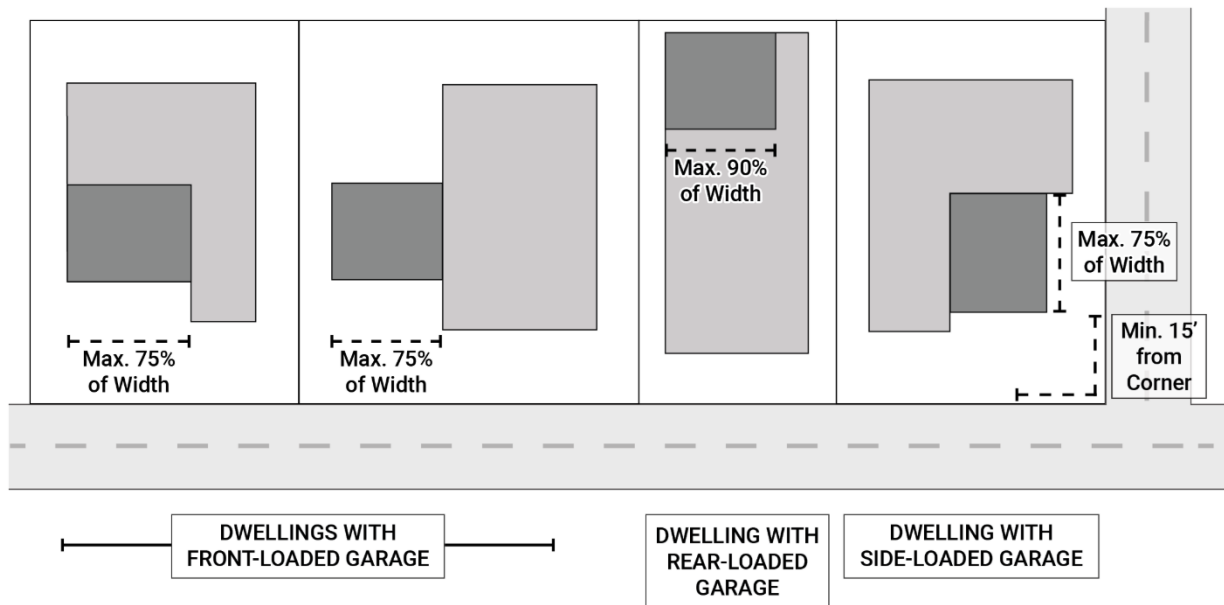
(1) **On-Site Circulation.** All provided streets shall be constructed in compliance with Chapter 16.20 (Design Standards) for public streets. [Source: 17.10.100, modified]

(2) **Driveways.** Any provided driveways shall comply with the following standards: [Source: 17.12.110, modified]

(a) **Front or Side Street-Facing Perpendicular Driveway.** The width of a perpendicular driveway along the front or side of street-facing parcel boundaries shall not cumulatively exceed the following:

i. **Lots 2,800 to 4,999 Square Feet.** 50 percent of the width of the lot's front or side street-facing façade on which the driveway faces, not to exceed 20 feet in width. [Source: NEW]

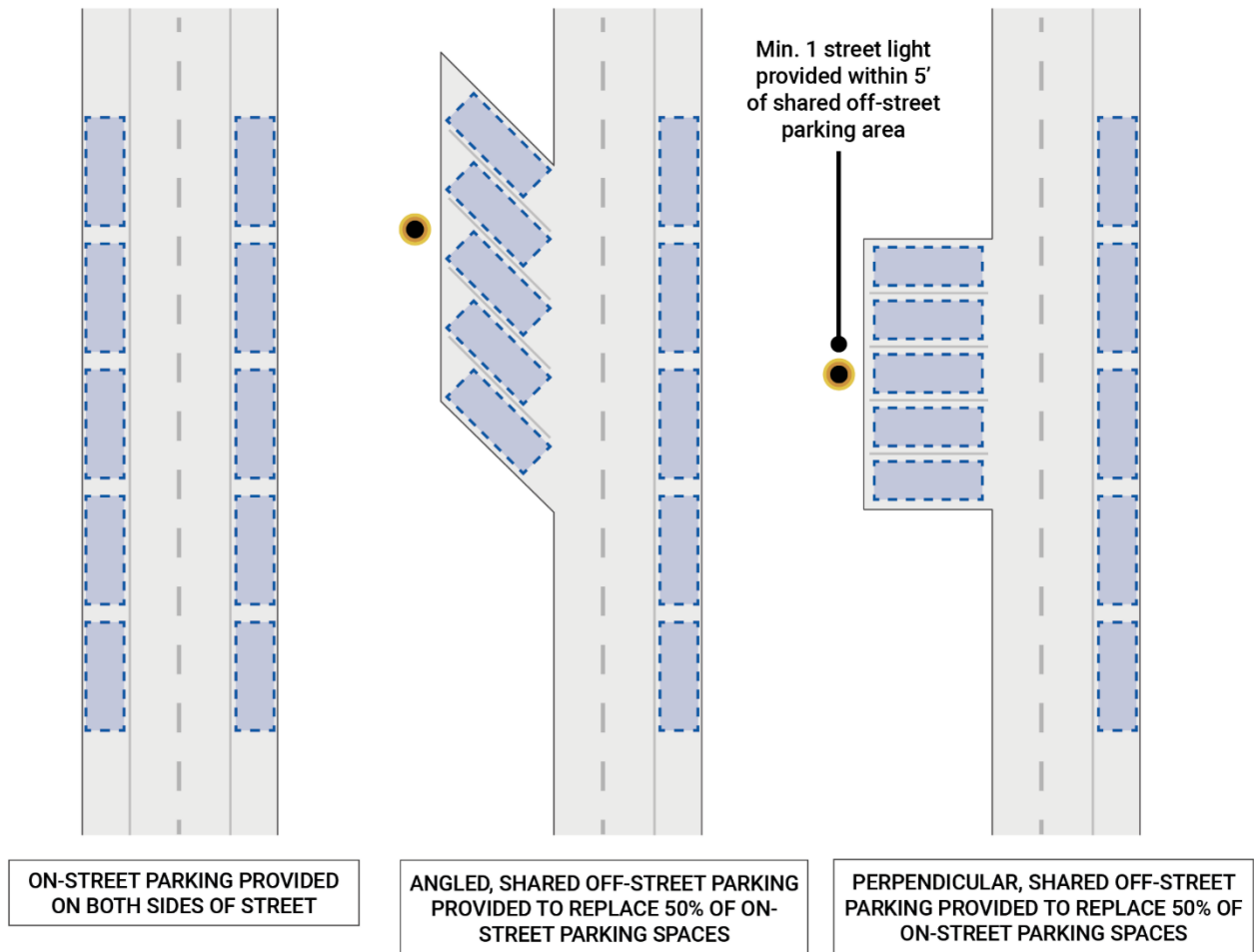
Figure ODS-5: Garage Standards



(b) Shared Off-Street Parking.

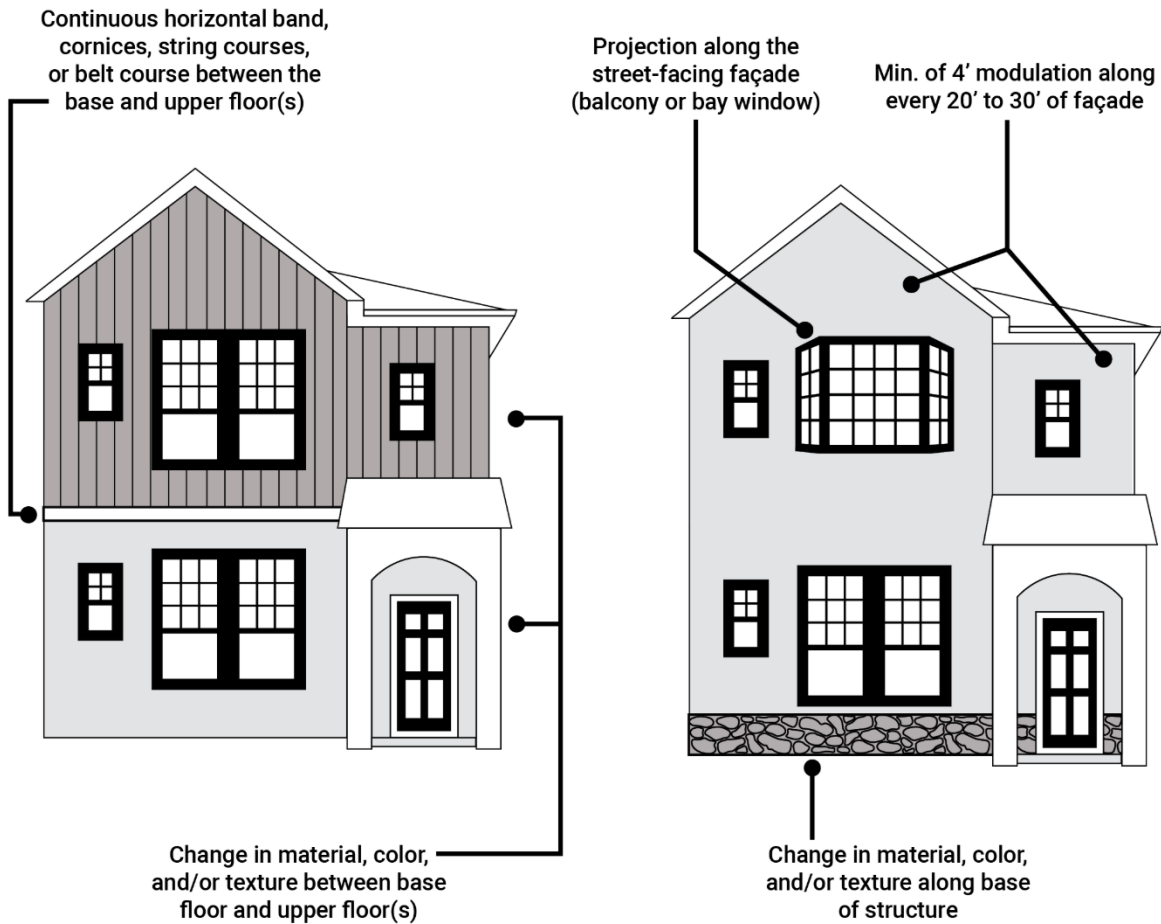
- i. **Shared Off-Street Parking Required.** Shared off-street parking shall be required along all streets providing on-street parking on only a single side of the street.
- ii. **Minimum Standards.** If provided, shared off-street parking shall comply with the following standards: [Source: NEW]
 - 1. Developers may forego up to 50 percent of on-street parking areas, provided:
 - a. An equal number of parking spaces are provided in a shared off-street parking facility; and
 - b. On-street parking spaces are provided on a minimum of one side of a street.
 - 2. Shared off-street parking spaces shall be angled or perpendicular to the street.
 - 3. Shared off-street parking shall be provided in clusters of three to ten parking spaces.
 - 4. A minimum of one street light shall be provided within five feet of a shared off-street parking area.

Figure ODS-6: Shared Off-Street Parking



- (4) **Pedestrian Pathways.** A pedestrian pathway shall be provided in compliance with the following. A driveway shall not serve as the primary walkway to the structure entry. [Source: NEW]
- (a) **Pedestrian Access.** Pedestrian access shall be provided to all dwelling unit entries and shall provide unobstructed connections to the following, as applicable: [Source: NEW]
 - i. Street(s) or sidewalks;
 - ii. Off-street parking facilities; and
 - iii. Communal open space.
 - (b) **Minimum Width.** Pedestrian pathways shall meet or exceed a minimum width of 48 inches. All pedestrian pathways shall be compliant with the California Building Code and Americans with Disabilities Act requirements. [Source: NEW]
 - (c) **Material.** The pedestrian pathway shall be differentiated from the driveway through the use of paving materials, including, but not limited to, pavers, flagstones, and concrete. [Source: NEW]

Figure ODS-7: Massing and Articulation



(4) Patios and Porches. A patio or porch shall be provided along the street-facing façade consistent with the following standards:

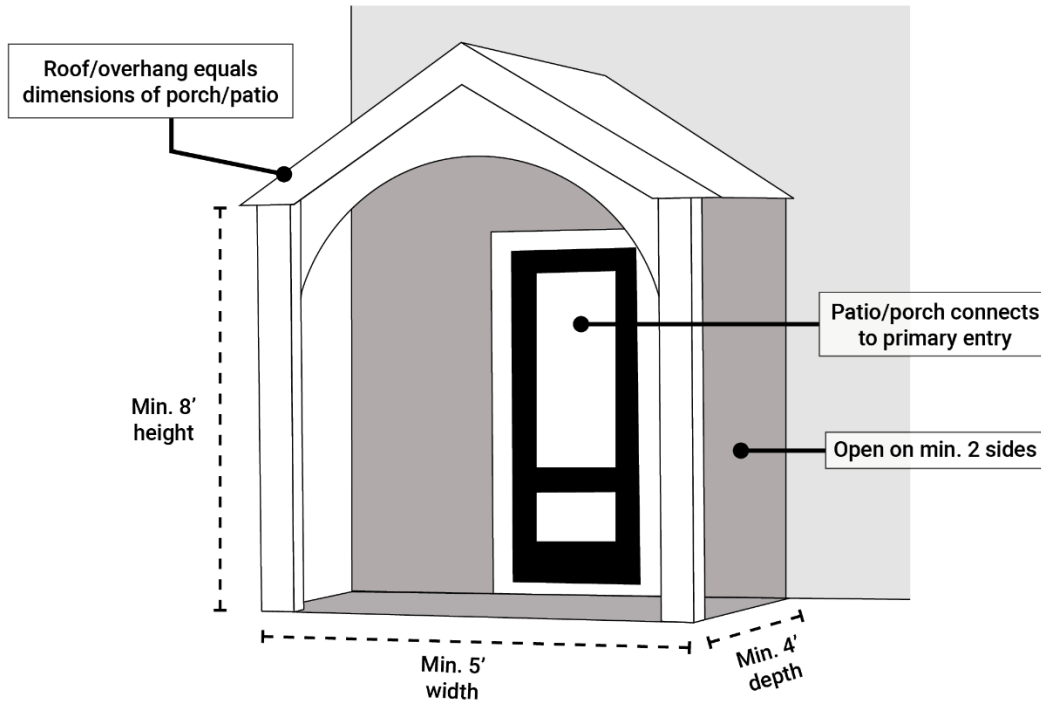
[Source: NEW]

- (a) The primary entry shall connect to the patio or porch.
- (b) The patio or porch shall not recess into the structure façade.
- (c) The porch or patio shall be open on a minimum of two sides and shall have a roof or overhang that equals the dimensions of the porch or patio.
- (d) The patio or porch shall have the following dimensions:

[Source: 17.10.100]

- i. **Depth.** A minimum of four feet.
- ii. **Height.** A minimum of eight feet.
- iii. **Width.** A minimum of five feet.

Figure ODS-8: Patio and Porch Requirements



(5) **Decks and Balconies.** Decks, balconies, and other types of platforms shall comply with all applicable site and design standards of the base zone. [Source: NEW]

(6) **Awnings.** If provided, awnings shall comply with the following standards: [Source: Downtown Hanford Architectural Design Guidelines, 8.8, modified]

- (a) Awnings shall only be located above doors and/or windows and shall not exceed the width of doors and/or windows.
- (b) Awnings shall not cover more than 80 percent of doors or windows across a single façade.
- (c) Awnings shall be a minimum of 12 inches in depth.
- (d) Awnings shall be constructed of fabric, canvas, metal, or similar material, with frames and supports consisting of painted or coated metal. The use of plastic materials in awnings is prohibited.

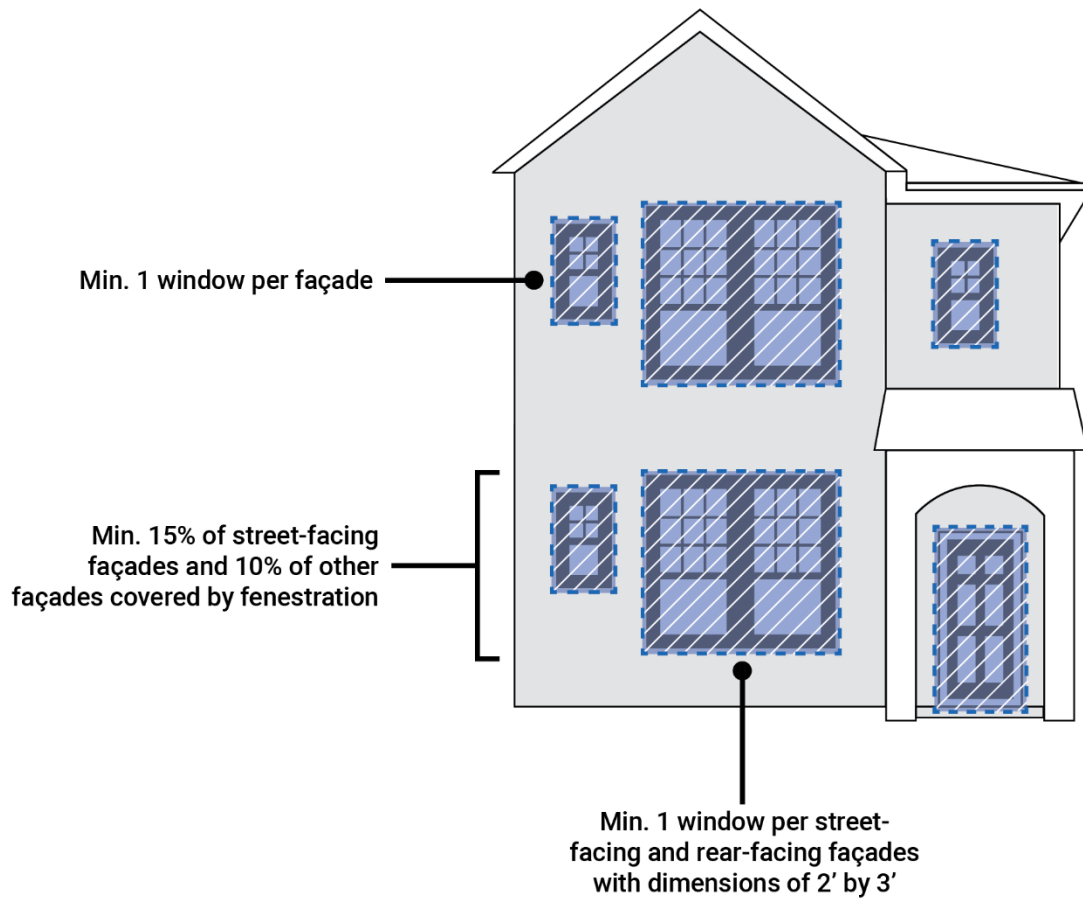
b. **Structure Orientation.** The primary frontage of the main structure shall face a public street, pedestrian sidewalk or pathway, or common open space. [Source: 17.10.100, modified]

c. **Fenestration.**

(1) **Minimum Fenestration.** A minimum of 15 percent of street-facing façades and 10 percent of other façades shall be covered by fenestration in the form of windows and/or doors. [Source: NEW]

- (a) **Minimum Windows.** Each façade shall have a minimum of one window. [Source: NEW]
- (b) **Minimum Window Size.** On the street-facing and rear-facing façades, a minimum of one window shall be provided with minimum dimensions of two feet by three feet. [Source: NEW]

Figure ODS-9: Minimum Fenestration



(2) **Primary Entry.** The primary entry to a dwelling unit shall comply with the following standards:

- (a) **Primary Entry Location.** The primary entry shall be located along a street-facing façade. [Source: NEW]
- (b) **Primary Entry Design.** Primary entries shall be designed using a minimum of one of the following techniques. A combination of these techniques may be used. [Source: Downtown Hanford Architectural Design Guidelines, 6.1, modified]

- i. **Porch Columns.** Provide columns or pillars on each side of the primary entry that are a minimum width and depth of six inches;
- ii. **Recessed Entry.** Recess the primary entry a minimum of one foot from the exterior façade. If provided, the recessed entry shall be designed with an arched or cased opening;
- iii. **Change of Roofline.** A change in roofline, a change in orientation of the roof ridge, or a change in roof height by more than two feet.
- iv. **Raised Entry.** Provide a front entry raised a minimum of 12 inches. A minimum of one step shall be included that leads to the raised entry directly or to a raised porch. [Source: NEW]
- v. **Transom Window.** Provide a transom window above the primary entry that meets or exceeds the width of the primary entry door. [Source: NEW]

(3) Windows.

(a) Window Design. All windows on all elevations shall be designed with **one** of the following techniques: [Source: NEW]

- i. Recess windows without trim a minimum of two inches from the exterior façade; or
- ii. Provide trim and/or decorative surround a minimum of two inches in width surrounding all windows.

(b) Glazing. Reflective or mirrored glazing is prohibited. Tinted glazing is allowed in the form of a “Low E” window film or “Low E” window glass. [Source: Downtown Hanford Architectural Design Guidelines, 8.4.3, modified]

(c) Materials.

- i. Window frames shall be constructed of wood, metal, or fiberglass. If provided, wood frames shall be painted or otherwise finished. [Source: Downtown Hanford Architectural Design Guidelines, 8.4.2, modified]
- ii. Window trim styles and materials used shall be consistent on all structure elevations. [Source: NEW]

d. Roof Design.

(1) Overhang. Roofs shall be designed to overhang a minimum of 12 inches from the façade. [Source: NEW]

(2) Roof Style.

(a) Roof styles and materials shall be consistent on all structure elevations. [Source: Downtown Hanford Architectural Design Guidelines, 8.7, modified]

