



Planning Commission Meeting Agenda

April 9, 2024
5:30 PM – Regular Meeting
Council Chambers
400 N. Douty St.

Planning Commissioners will meet in-person in the Council Chambers. The meeting will also be live streamed on the City's website: <http://livestream.hanford.city/>

ROLL CALL:

INVOCATION:

FLAG SALUTE:

PUBLIC COMMENT:

This is the time for citizens to comment on subject matters not on the agenda and that are within the jurisdiction of the Commission. This is also the public's opportunity to request an item from the Consent Calendar be pulled for discussion purposes or to comment on any item on the agenda. Comments related to Public Hearing items will be heard at the time the item is discussed. A maximum of three minutes is allowed for each speaker. Please begin your comments by stating your name and providing your city of residence.

CONSENT CALENDAR:

Consent Calendar items are considered routine and will be enacted in one motion. There will be no separate discussion of these matters unless a request is made and then the item will be removed from the Consent Calendar to be discussed and voted upon by a separate motion.

- A. Community Development: Approval of the Minutes of the March 26, 2024 Meeting

PUBLIC HEARING:

- A. Community Development: Conditional Use Permit No. 0029-24: a request by the Kings Community Action Organization (KCAO) to amend their original conditional use permit in order increase the number of classrooms, staff, and children on site at the Clay Center in the R-M Medium Density Residential zone district. The project is located at 302 E. Tenth St. (APN 010-224-023).

DIRECTOR'S COMMENTS:

COMMISSIONERS' ITEMS OF INTEREST:

At this time, any Commissioner may ask a question for clarification of matters within the Planning Commission's jurisdiction, make an announcement, or report briefly on activities in their role as a Planning Commissioner. In addition, subject to the Planning Commissioner's Handbook, Commissioners may request staff to report back to the Planning Commission at a subsequent meeting concerning any matter within the Commissioner's jurisdiction (GC 54954.2).

ADJOURNMENT:

Materials related to an item on this Agenda submitted to the Planning Commission after distribution of the agenda packet are available to public inspection in the Planning Division Office located at 317 N. Douty Street, Hanford, California 93230, during normal business hours. Such documents are also available at the city's website, www.cityofhanfordca.com subject to staff's ability to post documents before the meeting. If you need a disability-related modification or accommodation, including auxiliary aids or services, to participate in this meeting, please contact the Planning Division's office, 559-585-2580, 317 N. Douty Street, Hanford, California 93230, at least 2 days prior to the meeting {28 CFR 35.102.35.104 ADA Title II} APPEALS: Any action of the Planning Commission, which is a final project decision, may be appealed to the City Council by the applicant or any adversely affected person. To file an appeal, an appeal application and filing fee of \$1,000.00 must be submitted to the Community Development Department, 317 N. Douty Street, Hanford, California, within ten (10) days following the date of the final decision of the Planning Commission.



AGENDA STAFF REPORT

MEETING DATE: 4/9/2024	AGENDA SECTION: CONSENT CALENDAR
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SUBJECT:

Approval of the Minutes of the March 26, 2024 Meeting

RECOMMENDATION:

Approve the minutes of the March 26, 2024 meeting.

ATTACHMENTS:

1. 03-26-24 Minutes



**Planning Commission Regular Meeting
Minutes**

**March 26, 2024 5:30 PM
Council Chambers
400 N. Douty St.**

ROLL CALL:

Chair NORRIS called the meeting to order at 5:30 p.m.

Present:	Absent:
CURTIS DOUGLAS DEVINE NORRIS	HAM

INVOCATION:

Pastor Bud Haskell, Grace Bible Church

FLAG SALUTE:

Chair NORRIS led the flag salute.

PUBLIC COMMENT:

This is the time for citizens to comment on subject matters not on the agenda and that are within the jurisdiction of the Commission. This is also the public's opportunity to request an item from the Consent Calendar be pulled for discussion purposes or to comment on any item on the agenda. Comments related to Public Hearing items will be heard at the time the item is discussed. A maximum of three minutes is allowed for each speaker. Please begin your comments by stating your name and providing your city of residence.

None.

CONSENT CALENDAR:

Consent Calendar items are considered routine and will be enacted in one motion. There will be no separate discussion of these matters unless a request is made and then the item will be removed from the Consent Calendar to be discussed and voted upon by a separate motion.

A. Community Development: Approval of the March 12, 2024 Minutes

Motion to approve the minutes of the March 12, 2024 minutes.

RESULT: (PASSED)
MOVER: DEVINE
SECONDER: CURTIS
AYES: DEVINE, CURTIS, DOUGLAS

ABSTAIN: NORRIS
ABSENT: HAM

PUBLIC HEARING:

- A. Community Development: Conditional Use Permit No. 0027-24: a request by PetSmart to add veterinarian care in their existing pet services area in the C-R Regional Commercial zone district. The project is located at 288 N. 12th Ave. (APN 011-020-014).

Chair NORRIS opened the public hearing and called for the staff report. Associate Planner Manha presented the staff report, recommended approval, and invited questions of staff.

Commissioner DEVINE asked why the applicants waited to apply for this use. Mr. Manha replied that he did not know the reason. Commissioner CURTIS asked if this new project will require fire alarms and smoke detectors and if the fire department will follow up on that. Senior Planner Myers explained that the fire department reviewed the plans, and the requirements are adequate. Commissioner CURTIS asked if this will be a veterinary hospital. Ms. Myers replied that it will be more like a clinic.

Chair NORRIS opened Public Comment. There being none, he closed the public hearing and called for a motion.

Motion to adopt Resolution 2024-05, approving Conditional Use Permit No. 0027-24.

RESULT: (UNANIMOUS)
MOVER: DOUGLAS
SECONDER: CURTIS
AYES: DOUGLAS, CURTIS, DEVINE, NORRIS
NAYS: NONE
ABSTAIN: NONE
ABSENT: HAM

DIRECTOR'S COMMENTS:

Director Waters was not present. Senior Planner had no comments.

COMMISSIONERS' ITEMS OF INTEREST:

At this time, any Commissioner may ask a question for clarification of matters within the Planning Commission's jurisdiction, make an announcement, or report briefly on activities in their role as a Planning Commissioner. In addition, subject to the Planning Commissioner's Handbook, Commissioners may request staff to report back to the Planning Commission at a subsequent meeting concerning any matter within the Commissioner's jurisdiction (GC 54954.2).

Commissioner CURTIS asked what the new construction project is at 10th Avenue and Cameron Street. Ms. Myers replied that it is likely an apartment complex.

ADJOURNMENT:

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Chair NORRIS adjourned the meeting at 5:41 p.m.

Respectfully submitted,

Diana Black,
Recording Secretary



AGENDA STAFF REPORT

MEETING DATE: 4/9/2024

AGENDA SECTION: PUBLIC HEARING

SUBJECT:

Conditional Use Permit No. 0029-24: a request by the Kings Community Action Organization (KCAO) to amend their original conditional use permit in order increase the number of classrooms, staff, and children on site at the Clay Center in the R-M Medium Density Residential zone district. The project is located at 302 E. Tenth St. (APN 010-224-023).

RECOMMENDATION:

STAFF RECOMMENDATION

Staff recommends that the Planning Commission:

1. Adopt Resolution No. 2024-06, approving Conditional Use Permit No. 0029-24.

RECOMMENDED MOTION

1. I move to adopt Resolution No. 2024-06, approving Conditional Use Permit No. 0029-24.

PROJECT DESCRIPTION

The project is a request by the Kings Community Action Organization (KCAO) to amend their original conditional use permit in order increase the number of classrooms, staff, and children on site at the Clay Center in the R-M Medium Density Residential zone district, as shown in **Attachment 1**. The use is classified in the Zoning Ordinance as a day care facility for over 14 persons, which requires a Conditional Use Permit in the R-M Medium Density Residential zone district. The project is an amendment to Conditional Use Permit No. 2021-03, which approved the operation of two preschool classrooms for KCAO.

Project Location

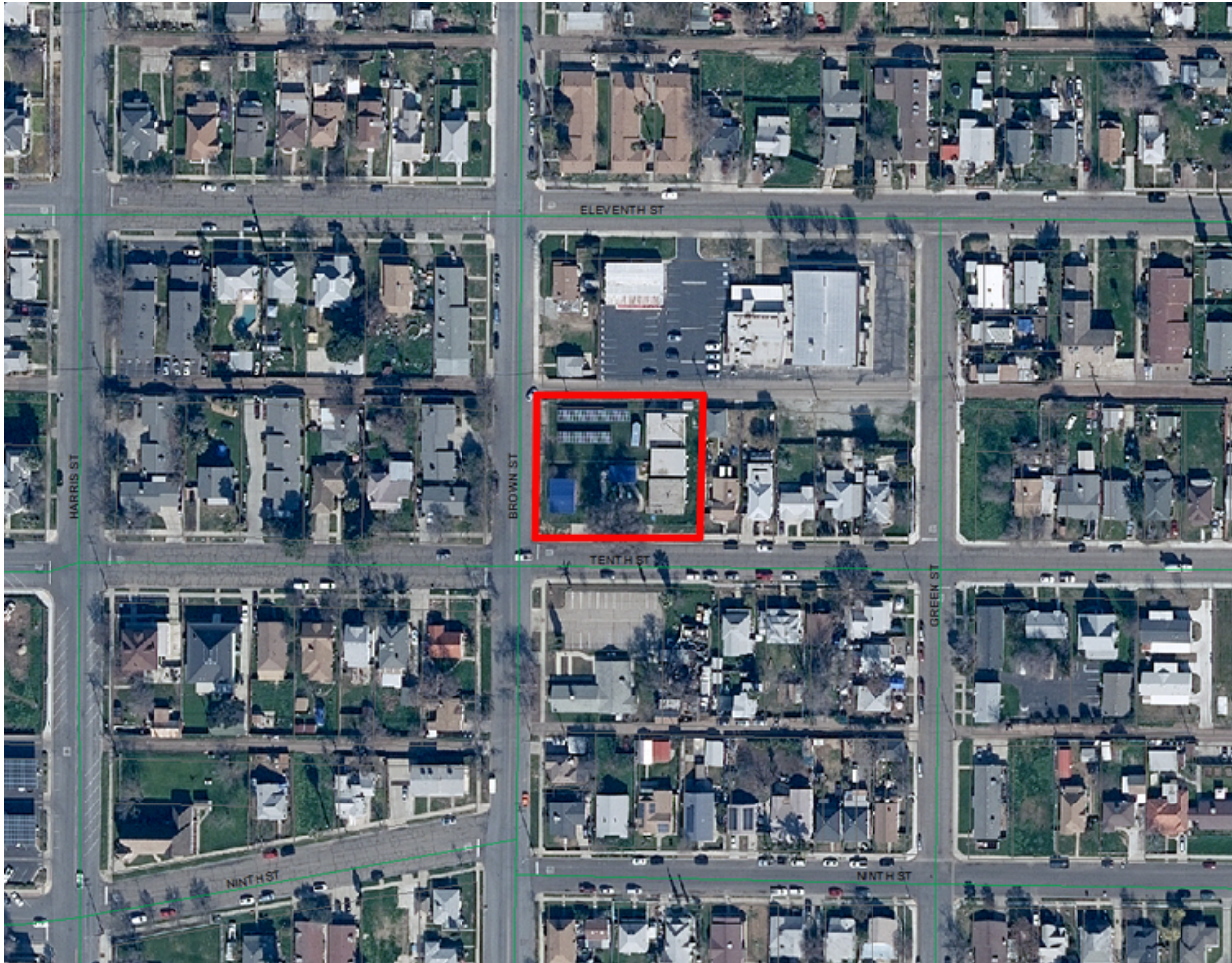
The proposed project is located at 302 E. Tenth Street (APN 010-224-023) (see Figure 1, below).

Entitlement

The applicant has submitted Site Plan Review No. 0071-23 for the project, the replacement of the existing modular buildings and solar structures on site with new modular buildings (see **Attachment**

1). The existing playground will remain. Site Plan Review No. 0071-23 was reviewed by the Site Plan Review Committee. Conditions of approval appear in the approval letter (see **Attachment 2**). All conditions of approval cited in the site plan review approval letter are also conditions of approval for this conditional use permit application.

Figure 1:
Land Use (property outlined in red)



BACKGROUND INFORMATION

General Plan Designation

The General Plan designates the property as Medium Density Residential (see Figure 2, below). In accordance with General Plan Policy L111, Hanford shall promote efforts to make new and existing neighborhoods more complete by encouraging the development of a mix of complementary uses and amenities that meet the daily needs of residents. Such uses and amenities may include parks, community centers, religious institutions, daycare centers, libraries, schools, community gardens, and neighborhood commercial and mixed-use developments. This proposal supports the City's efforts to make existing neighborhoods more complete, as a preschool is a complementary use to other existing uses in the neighborhood.

Figure 2:
General Plan Designation (property outlined in bold)

Medium Density Residential



Zoning Designation

The property is zoned R-M Medium Density Residential, which corresponds with the General Plan designation (see Figure 3, below). The applicant seeks to expand an existing day care, over 14 persons in the R-M Medium Density Residential zone district. According to the Residential Zone Use Table, presented in Table 17.08.020 of the Hanford Municipal Code, day care, over 14 persons requires a Conditional Use Permit in the R-M Medium Density Residential zone district (see Figure 4, below). A “day care facility” means a facility providing supervision, feeding and nonmedical care of persons, usually but not necessarily children, for a time period of less than twenty-four (24) hours. Day care facilities are further divided into the following categories: up to eight (8) persons, nine (9) to fourteen (14) persons, and over fourteen (14) persons. (A4) (F4) (F5) (F6)

Figure 3:
Zoning Designation (property outlined in bold)
R-M Medium Density Residential



Figure 4:
Land Use Table

Residential Zone Use Table							
P = Use Is Permitted by Right C = Use Requires Conditional Use Permit A = Use Requires Administrative Use Permit T = Use Requires Temporary Use Permit Blank = Use Is Not Allowed							
Land Uses		Single-Family Residential Zones			Multifamily Residential Zones		Specific Land Use Standards (See Identified Section)
		R-L-12	R-L-8	R-L-5	R-M	R-H	
53	Day care, over 14 children	C	C	C	C	C	17.60.060

PROJECT EVALUATION

Conformance with the standards of the R-M Medium Density Residential zone district

17.12.030 Lot Area

In the R-M Medium Density Residential zone district, the minimum lot area shall be five thousand (5,000) square feet. Existing lots of less than five thousand (5,000) square feet may be developed in

accordance with the specifications of Chapter 17.12 of the Municipal Code. The subject property is a 26,025-square-foot existing site. The property exceeds the lot area requirement for the R-M Medium Density Residential zone district.

17.12.040 Lot Dimensions

In the R-M Medium Density Residential zone district, the minimum lot frontage shall be 40 feet, the minimum lot width shall be 60 feet for corner lots, and the minimum lot depth shall be 90 feet. The project site has 150 feet of street frontage along Brown Street and 173.5 feet of street frontage along Tenth Street. The lot is approximately 150 feet in width and 173.5 feet in depth. The property exceeds the lot frontage, width, and depth requirements for the R-M Medium Density Residential zone district.

17.12.050 Site Area per Dwelling Unit

In the R-M Medium Density Residential zone district, the minimum site area per dwelling unit shall be three thousand (3,000) square feet. There are no dwelling units existing on or proposed for this lot.

17.12.060 Coverage

The maximum coverage of a lot shall be determined by the combined building setback area requirements, accessory structure limitations, open space requirements, and off-street parking requirements. All required building setbacks, landscaping, off-street parking and loading requirements were evaluated and mandated as part of the site plan review process.

17.12.070 Building Setback Area

No structure is permitted to be placed within a building setback area.

Front-Building Setback

In the R-M Medium Density Residential zone district, the front building setback area shall be 15 feet from the front lot line for livable building space and 20 feet for garages, carports, and other non-livable building space. Since there is no livable space on site, the front setback for all structures is 20 feet. On corner lots, the lot line adjoining the shorter street frontage shall be the front property line. In this case, Brown Street is the shorter side of the corner lot; therefore, the property line adjoining Brown Street is the front. No proposed structures will be located within the front setback area. However, the existing playground is within the required front building setback area. The playground is existing, nonconforming since the site was developed under different zoning regulations. The applicant does not propose to bring the site into further non-conformance. The existing structure may remain, as is.

Side-Building Setback

The side building setback area shall be five feet from an interior side lot line and 10 feet from a street-side property line. The street-side property line is adjacent to Tenth Street and the interior side property line is adjacent to a public alley. Where a site abuts a public alley, required building setback areas shall be measured from the center line of the alley. All structures meet the side setback requirements with the exception of the proposed trash enclosure. A condition of approval is to locate the trash enclosure outside of the 10-foot setback area, which will be reviewed by staff during the building permit process to ensure compliance. This satisfies the side building setback requirements.

Rear-Building Setback

The rear building setback shall be 15 feet from the rear lot line for one-story structures not adjacent to a landscape easement. All structures are located over 15 feet from the rear lot line, which satisfies the rear building setback requirement for the R-M Medium Density Residential zone district.

17.12.080 Distances Between Structures

The minimum distance between structures shall be 10 feet, except as provided by the building code. All structures will be separated by at least 10 feet, and any structure that may be moved to be within 10 feet of another structure shall comply with all necessary building code requirements. The distance between structures requirements are satisfied.

17.12.090 Height of Structures

The maximum height of structures in the R-M Medium Density Residential zone district is 35 feet. The proposed height of the tallest structure is 18.5 feet, which does not exceed the zone district height limitations.

17.12.110 Driveways

The width of a driveway and any paved area in the R-M Medium Density Residential zone district shall not cumulatively exceed 40% of the width of the lot's street frontage on which the driveway and any paved area faces. The site has two existing driveways on Tenth Street with a cumulative width of approximately 21% of the width of the street frontage along Tenth Street. The driveway requirements for the site are satisfied.

17.12.140 Off-Street Parking

There are no parking spaces on site. Under Conditional Use Permit No. 2021-03, the site proposed to use the joint use of parking regulations stated in Section 17.54.060, in order to utilize the existing parking facility located across the alley at 323 E. Eleventh St., currently occupied by the Pentecostal Church of God (PCOG), to meet the City's parking requirements. The site is still in compliance with all requirements of Section 17.54.060. The existing parking facility provides ample parking for both uses during their respective hours of operation. PCOG's primary operating hours are 9 a.m. – 12 p.m. on Sundays. KCAO's primary operating hours are 7 a.m. – 6 p.m. on Monday – Friday. The number of parking spaces required for PCOG is 29 spaces, based on the parking requirement for a religious institution or facility of 1 space per 50 square feet of floor area used for seating if seats are not fixed, 1 space per 4 seats, or 1 space per 8 feet of bench or pew seats:

Calculation:

1,440 sq. ft. of floor area ÷ 50 sq. ft. = 28.8, which rounds up to 29 spaces

The number of parking spaces required for KCAO is 17 spaces, based on the parking requirement for a day care of 1 space per employee plus on-site drop-off area:

Calculation:

15 employees + two spaces for drop off = 17 spaces

Both uses combined require a total of 46 parking spaces. The facility at 323 E. Eleventh St. currently provides 57 spaces, and will provide 56 spaces with the conversion of two existing parking spaces into one ADA-compliant parking space. A Reciprocal Use and Maintenance Agreement was approved through the original conditional use permit and recorded with the Kings County Clerk/Recorder's office (see **Attachment 3**). The parking requirements for this use are satisfied.

17.12.150 Usable Open Space

The site provides ample open space for the site through a playground and an open turf area. Lots with four (4) or less dwelling units shall provide for a usable open space area of a minimum three hundred (300) square feet per dwelling unit. The open space shall be a minimum fifteen (15) feet wide. Lots with five (5) or more dwelling units shall provide for a usable open space area equal to five percent (5%) of the lot area. Where multiple lots that together make up a single development site, the required open space may be combined into common open space areas that are accessible to all residents of the site. As a non-residential use, there is not a requirement to provide usable open space on site.

17.12.160 Landscaping

There is existing landscaping on the property. In accordance with Chapter 17.12.160 of the Hanford Municipal Code, except for driveways and approved parking areas, all yard areas and setback areas visible from the street(s) shall be landscaped with live plant materials and ornamentation common to the Hanford area or up to one hundred percent (100%) of the yard and setback area may be landscaped with artificial turf and other permeable surfaces. All areas not used for approved driveways, parking areas, or structures are landscaped, and will continue to be landscaped, as required. The landscaping requirements for this use are satisfied.

17.12.170 Screening, Fences, and Walls

There is an existing six-foot high chain link fence along the front and side lot lines and an existing wood fence along the rear lot line of the subject site.

Street-Side and Front-Yard Fencing

According to Hanford Municipal Code Section 17.50.110(C), no hedge, shrub, fence, or wall exceeding the three feet in height, or four feet in height if the upper one foot is 50% or more open shall be planted, placed, or maintained within the 25 feet corner sight triangle of a corner lot, or along a front or street-side property line where the hedge, shrub, fence, or wall creates a traffic or pedestrian hazard as determined by the Community Development Director. As stated in Section 17.50.120, fencing on a reverse corner lot along the street-side property line shall not exceed seven feet in height beginning at 25 feet from the front property line with a setback from the street-side property line of five feet, and fencing along a front property line with an open chain link fence up to seven feet in height may be located in conjunction with a public or quasi-public playground or park use. The existing fencing along Tenth Street is approximately 10 feet behind the street-side property line. The applicant is proposing to move some of the fencing closer to the street-side property line. As a reverse corner lot, fencing must be located at least five feet behind the street-side property line. A condition of approval is to locate the street-side fencing outside of the five-foot setback area and to ensure the fencing facing Tenth Street will begin 25 feet behind the front property line, which will be reviewed by staff during the building permit process to ensure compliance. The existing fencing on the front lot line of the subject parcel is permissible in accordance with the provisions set forth in

17.50.110 and 17.50.120 of the Hanford Municipal Code. This satisfies the street-side and front-yard fencing requirements.

Rear- and Interior-Side Fencing

In accordance with Section 17.50.120(A) and (B), fencing along a rear lot shall not exceed seven feet in height and fencing along an interior side lot line shall not exceed seven feet in height beginning at 10 feet from the front lot line. The fencing along the interior side property line is proposed to begin 10 feet behind the front property line. The remainder of the existing fencing on the rear and interior side lot lines of the subject parcel is permissible in accordance with the provisions set forth in 17.50.120 of the Hanford Municipal Code. This satisfies the rear and interior-side fencing requirements.

17.12.180 Signs

There is one existing freestanding sign on site. All signage must follow the standards set in Chapter 17.56 of the Hanford Municipal Code. For permanent building signs, there is a limit of one sign per street frontage, with a maximum size of 30 square feet placed at a minimum five feet below the roofline; signs may only have external illumination. For permanent freestanding signs, there is a limit of one sign per site maximum, with a maximum size of 20 square feet and a maximum height of six feet; signs may only have external illumination.

Signage requires a separate application and will be evaluated at the time of submittal.

17.12.190 General Provisions and Standards

In the R-M Medium Density Residential zone district, structures and the use of structures or land shall be subject to the requirements and standards prescribed in Chapter 17.50 of the Hanford Municipal Code. Section 17.50.090 states that suitable area shall be provided on-site for collection of trash and recyclable materials; refuse storage areas shall be adequately screened from view and designed to meet the minimum recommended dimensional standards as determined by the City Engineer. A trash enclosure shall be constructed on site, as shown in **Attachment 1**. The trash enclosure shall be located at least 10 feet behind the street-side property line in order to accommodate the required street-side setback area, accommodate a concrete apron for refuse truck access to the enclosure, prevent the enclosure doors from swinging into the public right-of-way, and allow refuse trucks to clear the roadway while servicing the enclosure. A condition of approval is to locate the trash enclosure outside of the 10-foot setback area, which will be reviewed by staff during the building permit process to ensure compliance. Any additional standards in Chapter 17.50 have been addressed in the conditions of approval in the resolution. This satisfies the general provisions and standards requirements.

All requirements of the R-M Medium Density Residential zone district, prescribed by Chapter 17.12 of the Hanford Municipal Code, are satisfied, except for those items that are non-conforming.

Operating Standards

The general purpose of the site will be largely unchanged from the original project approval. However, the applicant is proposing to alter the classroom structures, the number of classrooms, the number of students, the number of staff, and the hours of operation, as stated in their updated operational statement (see **Attachment 4**).

The three current modular buildings will be removed due to the age and condition of the buildings,

creating a health and safety risk for the children, staff, and families on site, and will be replaced with two new, larger modular buildings. The new modular buildings will contain three preschool classrooms, one infant/toddler classroom, as well as a main office, staff break room, resource room, and two staff restrooms, an increase from two preschool classrooms presently. The classrooms will have two children's restrooms, storage space, and sinks for handwashing. All new structures have been reviewed for conformance and found to be in compliance with the Hanford Zoning Ordinance, except for the minor items that must be amended prior to the issuance of a building permit. As a condition of approval, all new structures will be required to comply with current building code standards.

The preschool classrooms will serve 17 children in each classroom and the infant/toddler classroom will serve up to eight infants/toddlers [the operational statement erroneously states 16 infants/toddlers], serving 59 children, an increase from the 48 children approved under Conditional Use Permit No. 2021-03. The increase in building size will allow for an increase in the number of children on site. The occupant load of each new classroom will be reviewed during the building permit process to ensure sufficient space for each person inside each classroom. A drop off parking area is required to ensure sufficient space for each guardian to drop their child off at school. The existing parking area utilized by this site was evaluated to ensure a sufficient drop off area could be accommodated on site and was found to be able to accommodate a sufficient drop off area on site.

Currently, there are five staff members. The proposed plan will have about 15 staff members, an increase from eight staff members approved under Conditional Use Permit No. 2021-03. The increase in building size will allow for an increase in the number of staff members on site. The occupant load of each new room will be reviewed during the building permit process to ensure sufficient space for each person inside each room. Parking was evaluated during the Site Plan Review process to ensure sufficient space on site for each employee to park their vehicle at school. The existing parking area utilized by this site was found to be able to accommodate an increase in the number of staff members parking on site.

The hours of operation for the site will be 7:00 a.m. – 6:00 p.m., Monday – Friday, an increase from the original hours of operation approved, 7 a.m. – 5:30 p.m., Monday – Friday. The three preschool classrooms will operate August – June and the infant/toddler classroom will operate for 12 months a year. Staff members work 7:30 a.m. – 4:45 p.m., Monday – Friday. A monthly staff and parent meeting is conducted 5:00 p.m. – 7:00 p.m. Since the existing parking area utilized by this site is provided on the neighboring property at 323 E. Eleventh St., the operating hours of the two properties were reviewed to ensure there is no substantial conflict in use of the parking area between the two facilities. The hours of operation for each use will not produce a substantial conflict in use of the parking area between the two facilities.

FINDINGS FOR APPROVAL: CONDITIONAL USE PERMIT NO. 0029-24

Conditional Use Permit No. 0029-24

In taking action on a Conditional Use Permit, the Planning Commission must make the appropriate findings, in accordance with Section 17.80.030 of the Hanford Municipal Code:

1. The proposed use would not impair the integrity and character of the zoning district in which it is to be located;

ANALYSIS: That the use will not impair the integrity and character of the R-M Medium Density Residential zone district. The use will be consistent with the regulations set forth in Chapter 17.12 of

the Hanford Municipal Code for the R-M Medium Density Residential zone district, except for those items that are existing non-conforming, but will not be brought into further non-conformance. A day care facility, over 14 persons is listed as a permitted use with the approval of a Conditional Use Permit in the R-M Medium Density Residential zone district, as prescribed in the Land Use Table in Section 17.08.020.

2. The proposed use would be compatible with existing land uses and future permitted land uses within the zoning district in which the proposed use is to be located;

ANALYSIS: That the preschool, classified in the Zoning Ordinance as a day care, over 14 persons, is compatible with existing and future permitted land uses in the R-M Medium Density Residential zone district. The use will be consistent with the regulations set forth in the Hanford Municipal Code Section 17.12 for the R-M Medium Density Residential zone district, except for those items that are existing non-conforming. In accordance with General Plan Policy L111, Hanford shall promote efforts to make new and existing neighborhoods more complete by encouraging the development of a mix of complementary uses and amenities that meet the daily needs of residents. Such uses and amenities may include parks, community centers, religious institutions, daycare centers, libraries, schools, community gardens, and neighborhood commercial and mixed-use developments. The preschool is compatible with surrounding uses as it is a complementary use to other existing uses in the neighborhood.

3. The proposed use is consistent with the General Plan;

ANALYSIS: That in accordance with General Plan Policy L111, Hanford shall promote efforts to make new and existing neighborhoods more complete by encouraging the development of a mix of complementary uses and amenities that meet the daily needs of residents. Such uses and amenities may include parks, community centers, religious institutions, daycare centers, libraries, schools, community gardens, and neighborhood commercial and mixed-use developments. This proposal supports the City's efforts to make existing neighborhoods more complete, as a preschool is a complementary use to other existing uses in the neighborhood.

4. There will not be significant effects upon the quality of the environment and natural resources;

ANALYSIS: That this project is categorically exempt from further environmental review, as per Section 15332 In-Fill Development Projects of the California Environmental Quality Act (CEQA) Guidelines. A Notice of Exemption has been prepared and is attached as **Attachment 5**.

5. The proposed location, size, design, and operating characteristics of the proposed use would not be detrimental to the public interests, health, safety, convenience, or welfare of the city and that any incompatible impacts of the proposed use are mitigated by conditions of approval.

ANALYSIS: That this application has been reviewed by the various City departments and evaluated for conformity with the requirements of Chapter 17.12 of the Hanford Municipal Code for the R-M Medium Density Residential zone district. The use of a preschool, classified in the Zoning Ordinance as a day care, over 14 persons, is compliant with the Hanford Municipal Code. Any improvements or mitigations required for public health, safety, and welfare have been applied to the project as conditions of approval in Site Plan Review No. 0071-23 and the resolution.

PUBLIC COMMENTS

A Notice of Public Hearing for a Conditional Use Permit was noticed in the local newspaper on March

29, 2024 and mailed to property owners within 300 feet of the project site on March 28, 2024. No comments were received, as of the date of preparation of this report.

ENVIRONMENTAL ASSESSMENT

That this project is categorically exempt from further environmental review, as per Section 15332 In-Fill Development Projects of the California Environmental Quality Act (CEQA) Guidelines. There are no exceptions to this exemption, as per Section 15300.2 Exceptions of the California Environmental Quality Act (CEQA) Guidelines. A Notice of Exemption has been prepared and is attached as **Attachment 5**.

CONDITIONS OF APPROVAL

The following conditions of approval shall be applied to the use:

Conditional Use Permit No. 0029-24:

1. The site operates in conformance with the operational statement provided. A major expansion of the use which would tend to increase the projected scale of operations beyond the scope and nature described in this Conditional Use Permit shall be permitted upon application for, and approval of, modification of this application according to all procedures and requirements thereof._
2. A loading and unloading area shall be provided to accommodate no less than two (2) vehicles. _
3. The loading and unloading area shall be located within proximity to the main entrance. And shall not be located on the opposite side of a street from the day care center.
4. The Reciprocal Use and Maintenance Agreement shall be amended to reflect current operating conditions if necessary.

RECOMMENDATION

Staff recommends that the Planning Commission:

1. Adopt Resolution No. 2024-06, approving Conditional Use Permit No. 0029-24.

Applicant:

Brenna Mitchell, DKJ Architects
1736 S. Central St., Suite A
Visalia, CA 93277

Property Owner:

Kings Community Action Organization, Inc.
1130 N. 11th Ave.
Hanford, CA 93230

BACKGROUND:

FISCAL IMPACT:

ATTACHMENTS:

1. Resolution No. 2024-06
2. Attachment 1 - Site Plan
3. Attachment 2 - SPR0071-23 Approval Letter
4. Attachment 3 - Reciprocal Use and Maintenance Agreement
5. Attachment 4 - Operational Statement
6. Attachment 5 - Notice of Exemption No. 2023-103
7. Parcel Map

RESOLUTION NO. 2024-06

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HANFORD APPROVING CONDITIONAL USE PERMIT NO. 0029-24, A REQUEST BY THE KINGS COMMUNITY ACTION ORGANIZATION (KCAO) TO AMEND THEIR ORIGINAL CONDITIONAL USE PERMIT IN ORDER INCREASE THE NUMBER OF CLASSROOMS, STAFF, AND CHILDREN ON SITE AT THE CLAY CENTER IN THE R-M MEDIUM DENSITY RESIDENTIAL ZONE DISTRICT. THE PROJECT IS LOCATED AT 302 E. TENTH STREET (APN 010-224-023).

At a regular meeting of the City of Hanford Planning Commission duly called and held on April 9, 2024 on motion of Commissioner _____, seconded by Commissioner _____, and duly carried, the following resolution was adopted:

WHEREAS, Conditional Use Permit No. 0029-24, a request by the Kings Community Action Organization (KCAO) to amend their original conditional use permit in order increase the number of classrooms, staff, and children on site at the Clay Center in the R-M Medium Density Residential zone district, as shown in **Exhibit A**, has been reviewed by the Planning Commission of the City of Hanford in accordance with Title 17.80 of the Hanford Municipal Code; and

WHEREAS, the project is located at 302 E. Tenth Street (APN 010-224-023); and

WHEREAS, staff, the various governmental departments, and the Planning Commission have given careful consideration to this conditional use permit and have made recommendations thereon; and

WHEREAS, the project is exempt from environmental review, per Section 15332 In-Fill Development Projects of the California Environmental Quality Act of the California Environmental Quality Act (CEQA) Guidelines and a Notice of Exemption has been prepared; and

WHEREAS, on the basis of the facts and evidence provided in the staff report and the written and oral evidence presented at the public hearing, the Planning Commission hereby makes the following findings pursuant to Section 17.80.030 of the Hanford Municipal Code:

1. The proposed use would not impair the integrity and character of the zoning district in which it is to be located;

ANALYSIS: That the use will not impair the integrity and character of the R-M Medium Density Residential zone district. The use will be consistent with the regulations set forth in Chapter 17.12 of the Hanford Municipal Code for the R-M Medium Density Residential zone district, except for those items that are existing non-conforming, but will not be brought into further non-conformance. A day care facility, over 14 persons is listed as a permitted use with the approval of a Conditional Use Permit in the R-M Medium Density Residential zone district, as prescribed in the Land Use Table in Section 17.08.020.

2. The proposed use would be compatible with existing land uses and future permitted land uses within the zoning district in which the proposed use is to be located;

ANALYSIS: That the preschool, classified in the Zoning Ordinance as a day care, over 14 persons, is compatible with existing and future permitted land uses in the R-M Medium Density

Residential zone district. The use will be consistent with the regulations set forth in the Hanford Municipal Code Section 17.12 for the R-M Medium Density Residential zone district, except for those items that are existing non-conforming. In accordance with General Plan Policy L111, Hanford shall promote efforts to make new and existing neighborhoods more complete by encouraging the development of a mix of complementary uses and amenities that meet the daily needs of residents. Such uses and amenities may include parks, community centers, religious institutions, daycare centers, libraries, schools, community gardens, and neighborhood commercial and mixed-use developments. The preschool is compatible with surrounding uses as it is a complementary use to other existing uses in the neighborhood.

3. The proposed use is consistent with the General Plan;

ANALYSIS: That in accordance with General Plan Policy L111, Hanford shall promote efforts to make new and existing neighborhoods more complete by encouraging the development of a mix of complementary uses and amenities that meet the daily needs of residents. Such uses and amenities may include parks, community centers, religious institutions, daycare centers, libraries, schools, community gardens, and neighborhood commercial and mixed-use developments. This proposal supports the City's efforts to make existing neighborhoods more complete, as a preschool is a complementary use to other existing uses in the neighborhood.

4. There will not be significant effects upon the quality of the environment and natural resources;

ANALYSIS: That this project is categorically exempt from further environmental review, as per 15332 In-Fill Development Projects of the California Environmental Quality Act (CEQA) Guidelines. A Notice of Exemption has been prepared.

5. The proposed location, size, design, and operating characteristics of the proposed use would not be detrimental to the public interests, health, safety, convenience or welfare of the city and that any incompatible impacts of the proposed use are mitigated by conditions of approval.

ANALYSIS: That this application has been reviewed by the various City departments and evaluated for conformity with the requirements of Chapter 17.12 of the Hanford Municipal Code for the R-M Medium Density Residential zone district. The use of a preschool, classified in the Zoning Ordinance as a day care, over 14 persons, is compliant with the Hanford Municipal Code. Any improvements or mitigations required for public health, safety, and welfare have been applied to the project as conditions of approval in Site Plan Review No. 0071-23 and the resolution.

THEREFORE, BE IT RESOLVED that Conditional Use Permit No. 0029-24 be approved, subject to the conditions presented in **Exhibit B**, and the conditions below:

1. The site operates in conformance with the operational statement provided. A major expansion of the use which would tend to increase the projected scale of operations beyond the scope and nature described in this Conditional Use Permit shall be permitted upon application for, and approval of, modification of this application according to all procedures and requirements thereof.
2. A loading and unloading area shall be provided to accommodate no less than two (2) vehicles.

3. The loading and unloading area shall be located within proximity to the main entrance. And shall not be located on the opposite side of a street from the day care center.
4. The Reciprocal Use and Maintenance Agreement shall be amended to reflect current operating conditions if necessary.

EXPIRATION

That this Conditional Use Application Permit become null and void two (2) years after the effective date of approval, unless, prior to the expiration, the use for which the permit was approved has commenced. Prior to expiration of a permit, a person having authority to file an application may file a written request with the Community Development Director for extension of a permit that may otherwise expire. The request for extension will be taken to the Planning Commission, who may extend the expiration of the permit by one year.

PASSED AND ADOPTED at a regular meeting of the Hanford City Planning Commission by the following vote:

AYES:	Commissioners
NOES:	Commissioners
ABSTAIN:	Commissioners
ABSENT:	Commissioners

STATE OF CALIFORNIA)
COUNTY OF KINGS) ss
CITY OF HANFORD)

I, **Jason Waters**, Secretary of the City of Hanford Planning Commission, do hereby certify the foregoing Resolution was duly passed and adopted by the Planning Commission of the City of Hanford at a regular meeting thereof held on the 9th day of April 2024.

Jason Waters, Secretary

Exhibit A
Site Plan

OWNER: KINGS COMMUNITY ACTION ORGANIZATION
1000 N. 17TH AVENUE, WASHINGTON, CA 95576

[illegible]

DK
architects
inc.

1 / 36 S. Central Street, Suite A
Visalia, CA 93277
P: 559.738.0309 • info@djarchitects.com

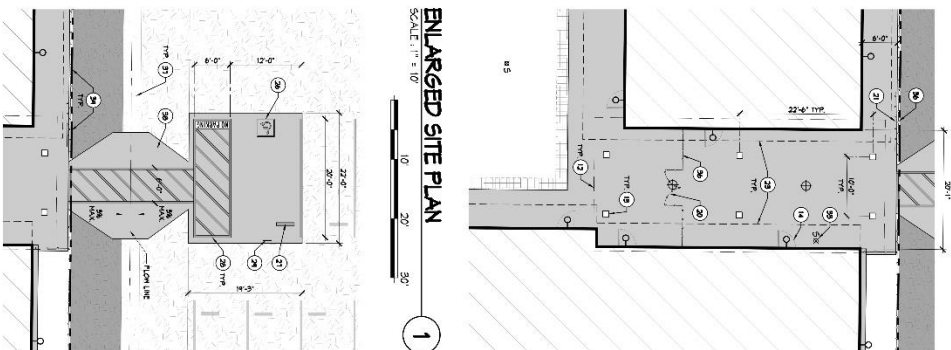


DRAWN BY:	E
DATE:	1/24/200
REVISED:	

PRESCHOOL CLASSROOMS
CLAY CENTER

PROJECT NUMBER: 202226.1
DRAWING TITLE
PROPOSED SITE PLAN

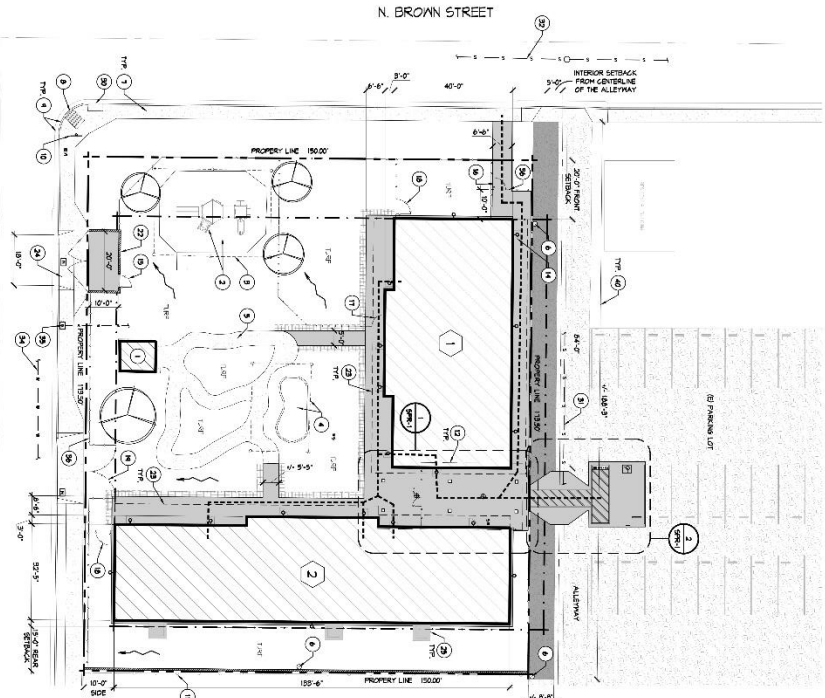
DRAWING NUMBER
SPR-1



ENLARGED SITE PLAN



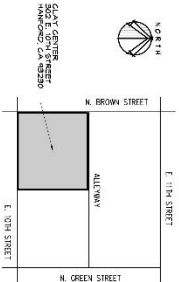
ENLARGED SITE PLAN
SCALE: 1" = 10'



PROPOSED SITE IMPROVEMENT PLAN
SCALE: 1" = 20'



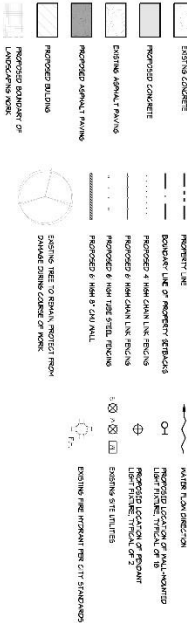
VICINITY MAP



ACCESSIBLE PATH OF TRAVEL

PATH OF TRAVEL (P.O.T.)

LEGEND



PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF THE ACQUISITION OF TWO PROPOSED MODULAR BUILDINGS FOR FOUR PERSONAL CLASSES AND OFFICE SPACE. IT INCLUDES EXISTING OUTDOOR PLAYGROUND AND PLAY STRUCTURE AND TO REPAIR THE PROJECT IS TO INCLUDE ONE NEW VAN ACCESSIBLE PARKING SPACE. THE EXISTING OFF-SITE PARKING LOT, AS WELL AS IMPROVEMENTS TO THE EXISTING ALLEWAY BETWEEN THE PROPERTY AND THE PARKING LOT.

PROJECT INFORMATION

OWNERS: H&C CONSULTING ACTION ORGANIZATION
CONTACT: JAMES HARRIS
PHONE: 508/451-9320 Email: jharris@harriscorp.com
PROJECT: DOWSIL 902 1017 STREET - WATFORD, CA 95209
ACQUITT: DOWSIL 902-45, 4520N
105 E. COLUMBIA STREET SUITE A, WATFORD, CA 95201
PHONE: 508/451-9320 Email: jharris@harriscorp.com
APR 4, 01:23:23-03-00
BUILDING SQUARE FOOTAGE: BUILDING 1 - 1,449 SF
BUILDING 2 - 1,441 SF
PROPERTY AREA: 28 ACRES
COMPONENT: E.I.B.
2200N. MEDICAL CENTER RECREATIONAL
APRIL 04/2003 2202 0200
PATIENTS: HARRIS ASSOCIATION, CITY OF WATFORD

Exhibit B

Site Plan Review Approval Letter – Conditions of Approval

City of HANFORD

CALIFORNIA 93230
CITY OFFICES 317 NORTH DOUTY STREET



MAYOR
TRAVIS PADEN

VICE MAYOR
MARK KAIRIS

COUNCIL MEMBERS
KALISH MORROW
DIANE SHARP
LOU MARTINEZ

CITY MANAGER
MARIO CIFUENTEZ II

CITY ATTORNEY
ROBERT M. DOWD

DATE: April 1, 2024

PROJECT: Site Plan Review SPR0071-23

APPLICANT: Brenna Mitchell

LOCATION: 302 E. Tenth St. (APN 010-224-023)

PROPOSAL: Place 2 new modular buildings for 4 preschool classrooms and office space

ZONING: R-M Medium Density Residential

SITE PLAN REVIEW COMMITTEE REVIEW DATE: October 18, 2023; February 7, 2024

Enclosed for your review are the comments and decisions of the Site Plan Review Committee. Please review all comments, since they may impact your project:

☐ **RESUBMIT:** Major changes to your plans are required prior to accepting construction drawings for a building permit. Your project must return to the Site Plan Review Committee for review of the revised plans.

☐ **MEETING REQUIRED:** During site plan review, concerns were identified, schedule a meeting with the following prior to resubmittal:

☐ Planning

☐ Fire

☐ Solid Waste

☐ Wastewater

☐ Building

☐ Engineering

☐ Police

☐ Parks and Recreation

☒ REVISE AND PROCEED

- ☒ Approved subject to the following and the attached conditions of approval.
☒ Submit plans for a building permit between the hours of 8:00 a.m. and 4:00 p.m.
☒ Your Plans must be reviewed by:

☐ City Council

☐ Parking and Traffic Commission

☐ Other: _____

☒ Planning Commission **CUP**

☐ Parks and Recreation Commission

Signed,

Mark Manha

Mark Manha, Associate Planner
Community Development Department

April 1, 2024
DATE

EXPIRATION

A site plan approval shall expire one (1) year from its approval date, unless a building permit application has been submitted or the use has commenced. Prior to expiration, the Community Development Director may extend the permit expiration date by one (1) year if there is substantial evidence that the applicant is diligently pursuing building permit approval or commencement of the use (Hanford Municipal Code Section 17.72.070).

CALIFORNIA ENVIRONMENTAL QUALITY ACT

Site Plan Review is a ministerial action, therefore not subject to the California Environmental Quality Act (CEQA) (CEQA Guidelines 15268 and MC 17.70.070). **Exemption No. 2023-103**

COMMENTS AND CONDITIONS OF APPROVAL

THE FOLLOWING DEPARTMENT COMMENTS AND CONDITIONS ARE ATTACHED:

- ☒ PLANNING
- ☒ BUILDING
- ☒ ENGINEERING
- ☐ SOLID WASTE
- ☐ WASTEWATER
- ☐ POLICE
- ☒ FIRE
- ☐ PARKS AND RECREATION

DEFENSE AND INDEMNIFICATION PROVISION

That the applicant shall defend, indemnify, and hold harmless the City of Hanford ("City"), its officials, officers, employees, representatives, agents and attorneys, from and against all claims, damages, losses, judgments, liabilities, expenses and other costs, including litigation costs and attorney's fees, arising out of, resulting from, or in connection with, the City's act or acts leading up to and including approval of any environmental document and/or granting of any approvals relating to the Project. Applicant's obligation to defend, indemnify and hold the City harmless specifically includes, but is not limited to, any suit or challenge by any third party against the City which challenges or seeks to set aside, void or annul the legality or adequacy of any environmental document approved by the City or any approval related to the Project.

APPLICANT'S STATEMENT (Must be signed prior to issuance of a building permit)

I have reviewed a copy of the Site Plan Review Approval SPR0071-23 Revision 1 and I understand that the proposed construction and/or land use is dependent upon the fulfillment of the conditions of approval and construction of all required public improvements prior to use, inauguration or occupancy, unless other arrangements are approved.

Applicant or Authorized Representative

PLANNING DIVISION
SITE PLAN REVIEW COMMENTS

MEETING DATE: October 18, 2023; February 7, 2024

SITE PLAN NUMBER: SPR0071-23 REVISION 1

CONTACT: Mark Manha, Associate Planner: (559) 585-2583, mmanha@hanford.city

General Plan Designation: Medium-Density Residential

Zoning: R-M Medium-Density Residential

Other Special Districts: N/A

Planning Division Recommendation: ☒ Revise and Proceed ☐ Resubmit

The project does meet the requirements of the Hanford Municipal Code, development standards, and other codes and policies.

Correction(s):

- Refuse enclosure is not permitted within the 10 ft. street-side setback area along Tenth Street, which shall accommodate the driveway apron for the enclosure as requested by the Public Works Department.
- As a reverse corner lot, the fence along Tenth Street shall maintain a minimum five-foot setback from the street-side property line. The fence along Tenth Street shall begin 25 feet from the front property line along Brown Street.

Required Entitlements:

- Conditional Use Permit (already applied)

R-M Medium-Density Residential - all checked comments shall apply

General:

- ☒ That approval of this project does not exempt compliance with all applicable sections of the Zoning Ordinance, Public Works Improvement Standards, fees, or other City Ordinances.
- ☒ That all approved proposals of the applicant be conditions of development, if not mentioned herein.
- ☒ That the site be developed according to the approved site plan, titled Site Plan Review No. 0071-23 Revision 1 with minor modifications to be approved by the Community Development Department.
- ☒ That no expansion of the use which would tend to increase the projected scale of operations beyond the scope and nature described in this Site Plan Review shall be permitted except upon application for, and approval of, modification of this application according to all procedures and requirements thereof.

- ☒ That mechanical equipment shall be located a minimum of five feet from a side lot line that adjoins a neighboring side lot line.

Cultural Resources:

- ☒ That if cultural resources are discovered during construction or related activities, all work shall be halted and a qualified archeologist and the City of Hanford shall be notified. The find shall be properly investigated and appropriate measures are to be taken before construction may continue.

Coverage: (Section 17.12.060)

- ☒ That the maximum coverage of a lot shall be determined by the combined building setback area requirements, accessory structure limitations, open space requirements, and off-street parking requirements.

Building Setback Area: (Section 17.12.070)

- ☒ That no structure shall be placed within a building setback area.
- ☒ The front building setback area shall be 15 feet from the front lot line for livable space and 20 feet for garages, carports, and other non-livable building space.
- ☒ That the rear building setback shall be 15 feet from the rear lot line, except where there is a landscape easement with a wall or fence on the rear of the lot, then the rear building setback shall be 20 feet.
 - ☒ The rear building setback area shall be increased by 10 feet for buildings over one story high.
- ☒ **That the side building setback area shall be five feet from an interior side lot line and 10 feet from a street side property line.**
- ☐ That where there is a landscape easement with a wall or fence on the street side of the lot the side yard setback area shall be measured from the easement area instead of the side lot line.

Distance between Structures: (Section 17.12.080)

- ☒ The minimum distance between structures shall be 10 feet, except as provided by the building code.

Height of Structures: (Section 17.12.090)

- ☒ The maximum structure height shall be 35 feet.

Driveways: (Section 17.12.110)

- ☒ That the width of a driveway and any paved area shall not cumulatively exceed 40% of the width of the lot's street frontage on which the driveway and any paved area faces. In the case

of “L” or “U” shaped driveways or other configurations besides perpendicular driveways, the paved area of these driveways shall not exceed 50% of the front building setback area.

- ☒ That on corner lots, the driveway shall be located on the side of the lot adjacent to the interior lot line.
- ☐ That on key lots, the driveway shall be located on the side of the lot, which is not adjacent to the rear lot line of the adjacent reverse corner lot.

Off Street Parking: (Section 17.12.140 and 17.54)

- ☒ That a minimum of 17 spaces shall be maintained for the site, based on the ratio “1 space per employee plus on-site drop-off area” for a day care:

Calculation:

15 employees + 2 spaces for the drop-off area = **17 parking spaces minimum**

- ☒ That the existing parking lot at 323 E. Eleventh St. (APN 010-224-022) may be utilized for the required parking spaces for this use per the terms of the recorded Reciprocal Use and Maintenance Agreement against both properties.
- ☒ That the standard parking space shall not be less than 18.5 feet in length and nine feet in width, exclusive of aisles and access drives (Section 17.54.110 A).
- ☒ That the maximum number of compact-car parking spaces is limited to 30 percent of the total parking spaces required. A compact parking space shall not be less than 16 feet in length and 8 feet in width, and marked for compact cars (Section 17.54.110 B. and C).
- ☒ That there shall be no more than four compact spaces adjacent to each other.
- ☒ That parking for bicycles and low-emission vehicles shall be provided in accordance with the latest adopted version of the California Building Code (Section 17.54.190).
- ☒ That required parking spaces may not be provided in any front, side, or rear building setback area.
- ☒ That all parking areas shall have ingress and egress to and from a street or alley as required by the City’s standard specifications.
- ☒ That sufficient room for turning and maneuvering vehicles shall be provided on the site.
- ☒ That developed parking areas are to be utilized by all vehicles associated with or visiting the site.
- ☒ That the parking of vehicles on lawn, landscaped areas, or other areas not designed for parking are prohibited.
- ☒ That entrances and exits to parking lots and other parking facilities shall be provided only at locations approved by the Site Plan Review Committee.

- ☒ That parking lot lighting shall be deflected away from adjoining sites so as not to cause glare to such sites.
- ☒ That no commercial repair work, washing or servicing of vehicles shall be conducted in a parking area.
- ☒ That parking areas, aisles, and access drives shall be paved with a solid material so as to provide a durable, dustless surface and shall be so graded and drained as to dispose of surface water, except that long-term storage areas for vehicles in the C-S, I-L and I-H zone districts may be surfaced with rock, gravel, granite or solid paving.
- ☒ That parking areas shall be designed to the City's standard specifications and approval by the City Engineer.
- ☒ That all parking spaces, whether required by this chapter or in addition that which is required, shall be located on a lot or parcel behind the front building setback and outside of a street side yard setback, except that vehicles may park on a paved driveway in the front building setback area. This requirement applies to both covered and uncovered parking areas.

Fencing and Walls: (Sections 17.50.110 and 17.50.120)

- ☒ That fences and walls in the R-L, **R-M**, R-H, OR, O and PF zone districts shall be constructed or installed in accordance with the following:
 - ☒ Along a rear lot line not exceeding seven (7) feet in height.
 - ☒ Along an interior side lot line not exceeding seven (7) feet in height beginning at ten (10) feet from the front lot line.
 - ☒ **On a corner lot along the street side lot line not exceeding seven (7) feet in height beginning at twenty-five (25) feet from the front lot line. On a reverse corner lot, the fence or wall is to be set back from the street side lot line five (5) feet. On a reverse corner lot, the rear lot line fence is not to extend beyond the five (5) foot street side building setback area.**
 - ☒ On a corner lot when a residence is constructed with its front access facing the street side lot line of a corner lot, a six (6) foot high fence is to be placed ten (10) feet behind the front property line. The street corner forty-five (45) degree angle line of sight is to be maintained as described in subsection H of this section. When the front of the house fronts the street side lot line a fence exceeding three (3) or four (4) feet in height as described in subsections E and F of this section is to be set back ten (10) feet from the street side lot line.
 - ☒ Along a front lot line not exceeding three (3) feet in height.
 - ☒ Along a front lot line not exceeding four (4) feet in height when the upper one (1) foot is fifty percent (50%) or more open.
 - ☒ Along a front lot line an open chain link fence up to seven (7) feet in height may be located in conjunction with a public or quasi-public playground or park use.

- ☒ A six (6) foot fence or wall may be located in a front building setback area when set back ten (10) feet from the front lot line. Except in the case of a corner lot, the fence wall shall begin a forty-five (45) degree angle at a point twenty-five (25) feet from the front lot line located on the street side lot line.
- ☒ That any proposed fencing on the site be maintained in good repair.
- ☒ That no fence or wall shall be placed within the public right-of-way.
- ☒ That a masonry fence exceeding three (3) feet in height shall require engineered footings and a building permit. All other fencing exceeding seven (7) feet in height shall require engineered post footings and a building permit.
- ☒ That no hedge, shrub, fence, or wall exceeding the three (3) feet in height, or four (4) feet in height if the upper one (1) foot is fifty (50) percent or more open shall be planted, placed, or maintained within the twenty-five (25) feet corner sight triangle of a corner lot, or along a front or street side property line where the hedge, shrub, fence, or wall creates a traffic or pedestrian hazard as determined by the Community Development Director.

Landscaping: (Section 17.52)

- ☒ That except for driveways and approved parking areas all yard areas and setback areas visible from the street shall be landscaped with live plant materials and ornamentation common to the Hanford area or up to 100% of the yard and setback area may be landscaped with artificial turf and other permeable surfaces.
- ☒ General Design Standards: the following features shall be incorporated into the design of the proposed landscape and shown on the required landscape plans:
 - ☒ Publicly maintained landscape areas shall be separated from privately maintained landscape areas with, at a minimum, a four (4) inch wide concrete mow strip.
 - ☒ Pedestrian access to sidewalks and structures shall be integrated with the design of landscaped areas.
 - ☒ Landscape adjacent to driveways and parking areas shall be protected from vehicle damage through the provision of a minimum six (6) inch high and six (6) inch wide concrete curb.
 - ☒ Concrete mow strips, when used, shall be a minimum of four (4) inches in width.
 - ☒ Trees and shrubs shall be planted so that at maturity they do not interfere with utility lines and traffic safety sight areas.
 - ☒ Trees and shrubs shall be planted and maintained in a manner that protects the basic rights of adjacent property owners, particularly the right to solar access.
 - ☒ Trees planted within five (5) feet of sidewalks or curbs shall have an eighteen (18) inch by ten (10) foot long linear root barrier placed at each edge of the sidewalk or face of curb, centered on the tree.

- ☒ Plant materials. Plant materials shall be selected and installed in accordance with the following requirements:
 - ☒ The size of ten (10) percent of the trees to be planted shall be twenty-four (24) inch box or larger. The remaining trees shall be sized fifteen (15) gallons or larger.
 - ☒ The size of seventy (70) percent of plants and shrubs shall be at five (5) gallon or larger. The remaining plants and shrubs shall be sized one (1) gallon or larger.
 - ☒ The size of groundcover at planting shall be one (1) gallon or larger.
 - ☒ Groundcover shall be designed to have one hundred (100) percent coverage within two (2) years.
 - ☒ Drought tolerant plant material and climate appropriate species shall be emphasized in the design.
- ☒ That the landscaped area shall be planted with live and healthy plant materials suitable for screening and/or ornamenting the site. Landscaped areas shall be watered by automatic systems and designed and developed in accordance with Chapter 12.08 and the most recent State Model Water Efficient Landscape Ordinance.
- ☒ That all building setback areas and open space areas required which are visible from the public right-of-way shall be landscaped.

Trash Collection Areas: (Section 17.50.090)

- ☒ That suitable area shall be provided on-site for collection of trash and recyclable materials for all multifamily residential, mixed-use, commercial, office, and industrial uses. Refuse storage areas shall be adequately screened from view. The refuse area enclosure shall be designed to meet the minimum recommended dimensional standards as determined by the City Engineer.
- ☒ That all uses shall be in compliance with the provisions of Chapter 13.12 of the Municipal Code.

Outdoor Lighting Standards: (Section 17.50.140)

- ☒ That all lights and light fixtures, except public street lights, shall be located, aimed or shielded so as to minimize light trespassing across property boundaries or skyward.
- ☒ That no lights or light fixtures shall flash, revolve, blink or otherwise resemble a traffic control signal or operate in such a fashion to create a hazard for passing traffic.
- ☒ That building mounted lighting fixtures shall be attached only to the walls of the building. The top of a light fixture attached to a building wall shall not be higher than the top of the building parapet or the top of the roof eave, whichever is lower.
- ☒ That canopy ceiling light fixtures shall be recessed or the sides of the lens area shall be shielded in order to eliminate emission of horizontal light.

- ☒ That mercury vapor lamps shall be a fully shielded fixture with all light directed on-site.
- ☒ That freestanding light fixtures shall not exceed eighteen (18) feet in height measured from the top of a light fixture to the adjacent grade at the base of the support for that light fixture.

Dust Control:

- ☒ That the appropriate dust-control practices of the San Joaquin Valley Air Pollution Control District shall be implemented.
- ☒ That the any necessary permits be obtained through the San Joaquin Valley Air Pollution Control District.

BUILDING DIVISION
SPR0071-23 Modular Classrooms
2-16-24
302 Tenth St

Contact Building Official: Tom Webb (559) 585-2584
Concerning questions that you may have on the conditions listed below:

1. That building permits must be obtained from the City Building Division for each structure to include but not limited to: buildings, pools, fences, trash enclosures, signs and carports for any structural, plumbing, electrical or mechanical work being done.
2. That no building or structure shall be used or occupied, and no change in the existing occupancy classification of building or structure or portion thereof shall be made until the building official has approved the change and issued a Certificate of Occupancy.
3. That detailed dimensioned plans be provided to the Building Division for each structure prior to obtaining construction permits. Each structure will require a separate submittal and permit.
4. That each structure will require plans and calculations signed by an architect or engineer licensed to practice in the State of California. Submittal shall consist of as applicable:
 - 4.1 1 copy of the City of Hanford Permit Application form
 - 4.2 One electronic submittal unless noted, including:
 - 4.2.1 Grading Plan (Civil Drawings, for reference)
 - 4.2.2 Site Plan
 - 4.2.3 Architectural Drawings
 - 4.2.4 Structural Drawings
 - 4.2.5 Electrical Drawings
 - 4.2.6 Mechanical Drawings
 - 4.2.7 Plumbing Drawings
 - 4.2.8 Landscape Plan (for reference)
 - 4.2.9 Commissioning Plan per 2022 CEnC
 - 4.2.10 **Planning Dept. "Conditions of Approval" or "Resolution"**
printed on the drawings and part of the drawing submittal
 - 4.2.11 Sets shall be stamped and wet signed by an Architect or Engineer licensed in the State of California.

****** Each structure will be considered a separate submittal. Grading, Landscaping, Signage and all Fire permits are separate submittals as well and require separate applications and submittals as applicable. ******

- 4.3 One Electronic submittal of all documentation, unless noted, including:
 - 4.3.1 Architectural Specifications
 - 4.3.2 Structural Calculations
 - 4.3.3 Electrical Calculations, if not included on the drawings
 - 4.3.4 Mechanical Calculations, if not included on the drawings
 - 4.3.5 Plumbing Calculations, if not included on the drawings
 - 4.3.6 Energy Calculations, if not included on the drawings
 - 4.3.7 CalGreen Compliance **including C & D Recycle plan**
 - 4.3.8 **Compliance with the City of Hanford Landscape Ordinance**
 - 4.3.9 Sets shall be stamped and wet signed by an Architect or Engineer licensed in the State of California.
 - 4.3.10 **Landscape Calculations per Hanford City Ordinance**
 - 4.3.11 Foundation design per California requirements
5. That the site, as well as the buildings, shall be made accessible and usable by the disabled in accordance with the California Building Code, Chapter 11B.

6. That a school impact fee for each square foot of new building area be paid when building permits are issued.
7. That all special inspection reports be submitted to the Building Division prior to final inspection.
8. That all construction shall conform to **the Most Current Edition** (2022) of the California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Fire Code, California Energy Code and CalGreen
9. That Kings County Impact Fees shall apply at current rates.
10. That the tenant, lessee, and/or owner are responsible for compliance with the Americans with Disabilities Act. By federal law your facility must be made accessible to the highest degree possible.
11. That block walls and trash enclosures require separate submittals/permits through the Building Dept.



H A N F O R D

FIRE DEPARTMENT
NIKKIE CHAMBERLAND, FIRE MARSHAL



City Of Hanford Fire Department Plan Review

Approval of all projects does not exempt compliance with all applicable sections of the adopted Fire Codes and local city ordinances. All fire protection systems must be installed and operational prior to occupying the building. All permits shall be issued and paid for prior to scheduling any inspections with the fire department. Please contact the building department for the submittal process. To schedule inspection please contact the building department at 559-585-2580

The scope of work shall be clearly stated on all the plans submitted for permit. All deferred submittals shall be listed on the building plan page. All deferred submittals are required to be submitted within 30 days of building permit issuance.

The following are comments that are applicable and pertain to plans submitted: This project must comply with the latest applicable codes.

- Project shall meet the minimum fire flow requirements per Appendix B & C of the CFC 2022; Provide the fire flows within one year
- When a sprinkler system is required with more than 21 heads, the system shall be monitored by a central monitoring station. Fire alarm and fire detection systems required by chapter 9 of CFC, CBC, shall be installed per NFPA 72.
- Knox FDC Locking Caps are required on all Fire Department Connections. A fire department access road is required for facilities that are protected by fire sprinklers and are more than 400 feet away; on site fire hydrants and mains shall be provided where required by the AHJ. Provide a letter of certification from a licensed soil engineer on non-paved all-weather roads that provide fire access, which shall support a 40,000 lbs fire apparatus at a minimum.
- All dead-end access roads more than 150 must provide a approved turn around or hammer head and comply with city standards.
- All access roads shall not be less than 20 ft wide and 13 ft 6 inches
- Access road turning radius for fire apparatus/
 1. Inside turn: 20ft 10 inch
 2. Curb to Curb: 37 ft 3 inches
 3. Wall to Wal: 42 ft

- Temporary or permanent fire department access roads shall be constructed in accordance with City Standards ST-36. All weather access roads shall be in place prior to any combustible construction being brought onto the premises unless approved by the fire department.
- Additional Hydrants may be required, all hydrants shall be installed and accepted prior to combustibles being dropped on site. All hydrants shall be protected by bollards Hydrant spacing shall be as follows CFC 2022 appendix C;
 1. Residential area- 500ft
 2. Commercial area-300ft
 3. A hydrant will be required within 50' of Fire Department connection.
- Areas identified as “**Fire lanes**” must be Identified as such per requirements set forth in the California Vehicle Code Section 22500.1.
 1. **Access roads 20-26 feet in width:** Fire lanes shall be on both sides of the fire apparatus access roads.
 2. **Access roads 26 to less than 32 feet in width:** Fire lanes shall be on one side of the fire apparatus access roads.
 3. **Access roads 32 feet in width or more:** No fire lanes required.
 4. **Markings shall include “No Parking- Fire Lane”**
- Locked gates installed across fire department access roads:
 1. **Manual gates** with a chain lock require a **Knox Padlock** to be installed on them; or a **Knox Box** shall be installed on the exterior of the gate and a key to the lock on the gate must be placed in the Knox Box. (See www.knoxbox.com for current models)
 2. **Electric Gates** shall be equipped with an electric **Knox Key Switch**, at the gate location.
 3. In case of a loss of power, electrically operated gates shall have a means of back-up power or shall default in the open position for immediate fire department access.
 4. At no time shall the width of the fire department access road be reduced below **20-feet wide through or at any gates** along the fire departments' emergency access roads due to protruding objects from gate supports, frames, signs, access booths, curbs, etc.
 5. Provide a Knox Box for all structures and gates. In accordance with the 2019 CFC 506.1. Location shall be approved by Hanford Fire Department.
 6. The ordering of Knox Box products can be done directly at www.knoxbox.com. Click to choose your local fire department

agency, enter "Hanford Fire Dept", and a list of products will populate for you to order.

- All address numbers shall be installed onto the building and shall be visible from the frontage street. The color of the address numbers shall be in a contrasting color to the building.

Size of Address Numbers:

- | | |
|--|-----------------|
| 1. Downtown area (existing buildings): | 4 inch numbers |
| 2. Buildings 20-ft. or less from the street: | 6 inch numbers |
| 3. Buildings 21- to 40-ft. from the street: | 8 inch numbers |
| 4. Buildings more than 40-ft. from street: | 12 inch numbers |
- Operational Fire Permit is Required
 - Fire Alarm shall be present and functioning



City of Hanford

Public Works Department

900 South 10th Ave. • Hanford, CA 93230-5234 • (559) 585-2550

Utilities Division Comments

PROJECT: SPR0071-23- 302 East Tenth Street-KCAO Clay Center

APN: 010-224-023

General:

1. That all work within the public street right-of-way shall be under the control of a General Engineering Contractor, licensed for that purpose. Contractor shall verify all conditions in the field prior to commencing construction.
2. That locations of existing water, sanitary sewer and storm drain mains in the vicinity of the project site will be marked by Public Works Department staff based upon the city's best available records. Contractor shall provide city with a minimum of 48 hours prior notice when requesting location of existing utilities at (559) 585-2564. Contractor to contact Underground Service Alert (U.S.A.) for City utility markings.
3. That all sewer and water utility work and materials shall conform to City of Hanford Standards and Specifications, latest edition.

Water:

1. That the developer shall provide an accurate fixture unit count and size water services in accordance with the requirements of the Uniform Plumbing Code, latest edition.
2. That the developer shall furnish and install any new water service assemblies required for the project including water meters and meter boxes for both domestic and landscape uses. If existing services are utilized, fixture counts to ensure adequate size of service is required. All new services are to connect to East Tenth Street.
3. That the developer shall furnish and install appropriate cross connection/backflow prevention assemblies for all required water services, including fire service lines. Fire service system, if required, shall be a looped system with two points of connection to the City water main or as directed by the City of Hanford Fire Department.
4. That all backflow prevention assemblies required for the development shall be tested and approved by a certified technician that has been approved by the City of Hanford prior to occupancy. Copies of all backflow test results shall be provided to the City of Hanford Utilities Division.
5. It is recommended that developer install a separate irrigation service to reduce the sewage usage bill. Sewage bills are calculated using domestic water flows.

Sewer:

1. That the property owner is responsible for maintenance of all sanitary sewer laterals providing service to their property from building structure to the City Sanitary Sewer main, including connection fittings.
2. That the developer shall size sewer service lateral to serve the project site in accordance with requirements of the Uniform Plumbing Code, latest edition. All new sanitary sewer laterals shall connect to the alley sewer main or to the Brown Street sewer main.
3. That the developer shall furnish and install a floor drain inside any newly constructed Trash Enclosure per City Standard Detail GE-41 that connects to the City's Sanitary Sewer System.

Bob Williams

3/29/2024

Utilities Manager

Date



City of Hanford

Public Works Department

900 South 10th Ave. • Hanford, CA 93230-5234 • (559) 585-2550

Engineering Division Comments

PROJECT: SPR0071-23- 302 East Tenth Street-KCAO Clay Center

APN: 010-224-023

General Requirements:

1. That the development shall comply with all applicable City of Hanford Standard and Specification requirements. Any deviation from said Standards and Specifications must be approved by the City Engineer prior to construction.
2. That an Encroachment Permit for all work located within the public street right-of-way shall be obtained from the Public Works Department prior to start of work. For additional information regarding Encroachment Permit requirements, contact the City Engineering Division at (559) 585-2558.
3. That the development is subject to a **\$4,200.00** Grading Plan Review fee in accordance with City Resolution No. 10-31-R, or any revisions thereof. Grading Plan Review fee shall be paid prior to issuance of building permits.
4. That the development is subject to Engineering Plan Review and Inspection fee based on the cost of improvements required to be constructed within the public street right-of-way, in accordance with City Resolution No. 92-58-R, or any revisions thereof. Subject fees shall be payable prior to approval of improvement plans.
5. That all financial and other arrangements for planning, engineering, scheduling, installation of and/or relocation of ungrounding of electric, gas, telecommunications, or other privately owned utilities are the sole responsibility of the developer. The developer is advised that significant project delays may result if utility issues are not resolved prior to start of construction.

Map and Plan Requirements:

1. That the developer shall submit to the City Engineer a set of construction plans on 24" X 36" size sheets for all required improvements. The plans shall be prepared by a licensed civil engineer, and shall include a site plan showing all on-site and off-site improvements, including but not limited to, sanitary sewer, storm drainage, and water system infrastructure, refuse enclosure locations, public street & parking lot improvements, landscape & irrigation systems and all other improvements as required by the project conditions of approval and the City of Hanford Standards and Specifications. Plans must be approved by the City of Hanford and any other affected agencies before issuance of building permits.
2. That prior to beginning any construction, or within twenty (20) calendar days after the approved plans are released by the City, the developer shall submit to the City of Hanford Engineering Division four (4) bond copies of the approved set of construction plans, and two (2) bound sets of the approved construction specifications, if any.
3. That within twenty (20) calendar days after all improvements have been constructed and accepted by the City, the developer shall submit to the City of Hanford Engineering Division one (1) reproducible and one (1) bond copy of the approved set of improvement construction plans revised to reflect all field revisions and marked "RECORD DRAWING".

Drainage Requirements:

1. That the developer shall comply with all applicable State of California requirements pursuant to the National Pollutant Discharge Elimination System (NPDES). If applicable to the project, a Notice of Intent for the development shall be electronically filed by the developer and accepted by the State Water Resource Control Board (SWRCB) prior to any disturbance of soils onsite. Documentation of SWRCB approval of the development shall be required by the City of Hanford prior to start of construction, and the developer shall comply with all SWRCB General Construction Permit requirements during construction. Contact the SWRCB at www.swrcb.ca.gov for further information.

Steve Coodey

3/29/2024

Assistant Engineer (559) 585-2582

Date



City of Hanford

Public Works Department

900 South 10th Ave. • Hanford, CA 93230-5234 • (559) 585-2550

PROJECT: SPR0071-23- 302 East Tenth Street-KCAO Clay Center

APN: 010-224-023

2. That track-out of soil, gravel, or other construction-related materials on to public streets is prohibited.
3. That a drainage/site improvement plan for development be prepared by a license civil engineer for review and approval by the Public Works Department prior to the issuance of building permits. All construction shall be certified by a civil engineer as being constructed to approved plan.
4. That site grading and drainage shall comply with the approved grading and improvement plans for the development. Upon completion of construction, the developer's engineer shall provide a written statement that site grading and drainage has been completed in accordance with approved plans.

Curb, Gutter, and Sidewalk Requirements:

1. That the existing concrete curbs, gutters, and sidewalks located along the East Tenth Street and North Brown Street project frontages may remain in place provided they are found to be in functional condition, adequately sloped for proper drainage and meet ADA requirements. Sections damaged during construction, or otherwise found to be in disrepair, shall be removed and replaced with new curb and gutter, and sidewalk installed per City Standard CO-11 and CO-15. The locations of any such curbs, gutters, and sidewalks required to be reconstructed shall be shown on the engineered site improvement plans.

Drive Approaches

1. That the developer remove existing drive approach on East Tenth Street and replace with drive approach per City Standard Detail CO-38 to a maximum width of 20' when measured between the bottom of each wing.

Street Requirements:

1. Traffic control within the City of Hanford right-of-way shall conform to the California Manual on Uniform Traffic Control (CA MUTCD) and shall be approved by the City of Hanford Public Works Dept. prior to scheduling work.
2. All underground piping shall be inspected prior to backfilling. All utility trench backfill and paving shall conform to City Standard Detail ST-8.

Refuse Enclosure Requirements:

1. That the developer construct a 10' x 20' inside clear dimension refuse enclosure in conformance with City Standard Detail GE-35, using the existing drive approach as shown on the approved application. The trash enclosure must be positioned so the enclosure doors do not swing into the city's right-of-way and will allow for refuse trucks to clear the roadway while servicing. The enclosure shall incorporate a drain connected to the City Sanitary Sewer system. Refer to Refuse Division Comments for additional information.

Alley Way Requirements:

1. That the developer remove a portion of the existing valley gutter and construct new valley gutter to comply with current ADA requirements. No portion of the new valley gutter shall slope more than 2% in any direction within the pedestrian path of travel. No portion of the asphalt leading to the valley gutter shall slope more than 5% with path of travel and have no greater than a 2% cross slope. If needed, a greater area within the alley may be required to be removed to achieve a smooth transition to existing valley gutter and alley roadway while maintaining adequate fall to the valley gutter. All necessary striping shall be installed for the walk path.

Steve Coodey

3/29/2024

Assistant Engineer (559) 585-2582

Date



City of Hanford

Public Works Department

900 South 10th Ave. • Hanford, CA 93230-5234 • (559) 585-2550

PROJECT: SPR0071-23- 302 East Tenth Street-KCAO Clay Center

APN: 010-224-023

Development Impact Fees:

1. That development is subject to the following impact fees in accordance with city ordinances no. 90-09, 90-10 and 98-14, or any revisions thereof. Impact fee calculations are based upon square footage of structures as shown on the site plan. If changes are made to structure thereby increasing or decreasing structure floor areas, then impact fees will likewise change to reflect actual field conditions. Fees listed below reflect FY 23/24 rates effective July 1, 2023. All fees are payable prior to issuance of building permits. **Existing building area to be removed- 3,410 sf (Proposed building area- Building 1- 3,468 sf, Building 2- 4,461 sf (Total- 7,929 sf) additional 4,519 sf- Site Area: 0.59 Acres). The following impact fees are adjusted for additional square footage and additional refuse bins only.**
 - A. That the development is **NOT** subject to a **Circulation Impact Fee** in accordance with City Resolution No. 98-56-R, or any revisions thereof. Fee based on \$23,214.05 (Restaurant-No Drive-thru) X 1.537
 - B. That the development is subject to a **\$3,439.86** **Water System Impact Fee** in accordance with City Resolution No. 98-54-R, or any revision thereof.
 - C. That the development is subject to a **\$2,292.49** **Wastewater System Impact Fee** in accordance with City Resolution No 98-55-R, or any revision thereof.
 - D. That the development is **NOT** subject to a **Storm Water System Impact Fee** in accordance with City Resolution No. 98-57-R, or any revision thereof.
 - E. That the development is **NOT** subject to a **Fire Protection Impact Fee** in accordance with City Resolution No. 98-52-R, or any revision thereof. Fee based on additional 365 sf.
 - F. That the development is **NOT** subject to a **Police Protection Impact Fee** in accordance with city Resolution No. 98-53-R, or any revision thereof. Fee based on additional 365 sf.
 - G. That the development is subject to a **\$1,966.64** **Refuse and Recycling Impact Fee** in accordance with City Resolution No 98-56-R, or any revision thereof. Fee is based on 2 additional one (1) Cubic Yard containers.
 - H. That the development is **NOT** subject to a Park Impact Fee in accordance with City Resolution No 05-64-R, or any revision thereof.

Steve Coodey

3/29/2024

Assistant Engineer (559) 585-2582

Date



City of Hanford

Public Works Department

900 South 10th Ave. • Hanford, CA 93230-5234 • (559) 585-2550

Refuse Division Comments

PROJECT: SPR0071-23- 302 East Tenth Street-KCAO Clay Center

APN: 010-224-023

General Requirements:

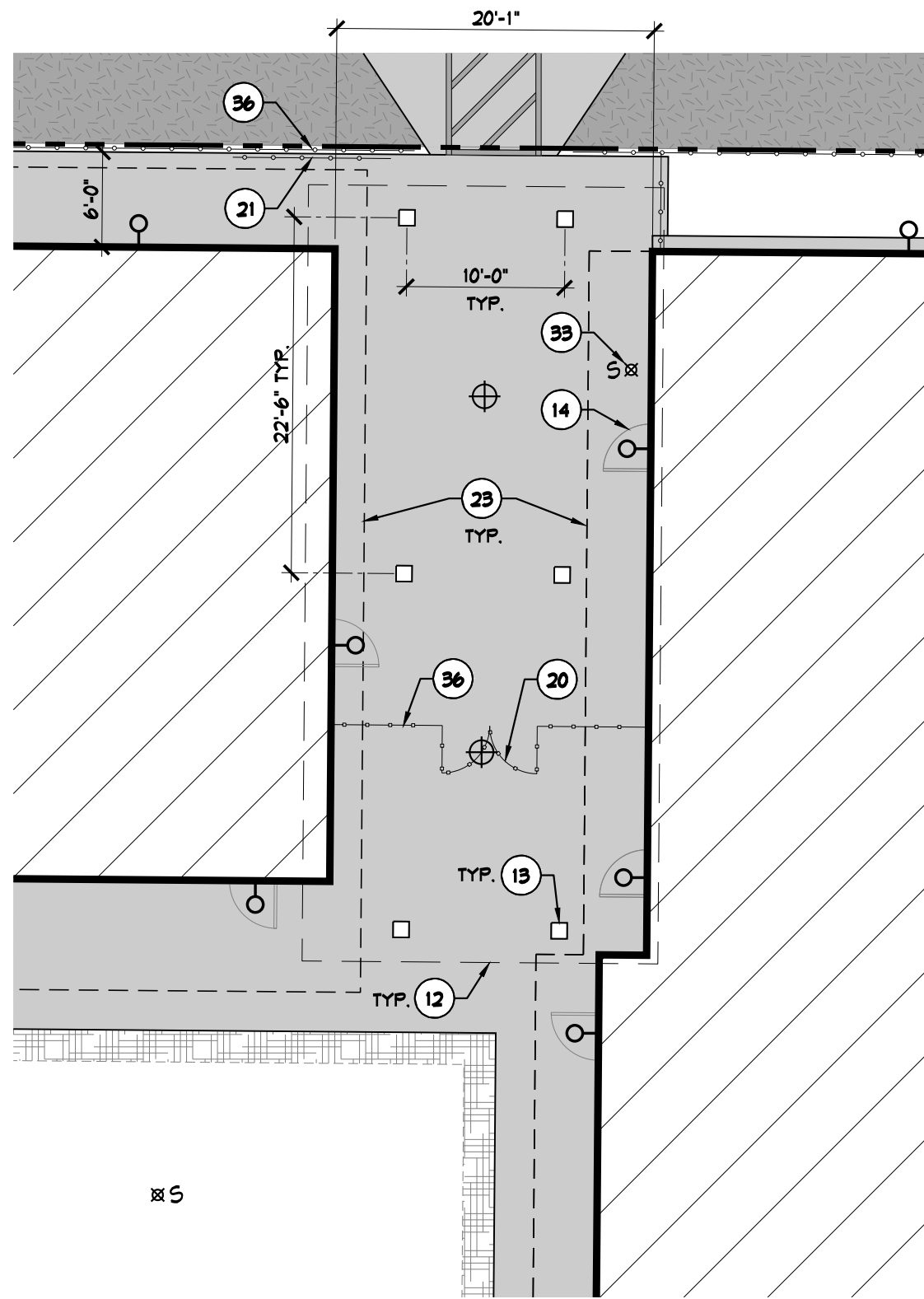
1. That a minimum 10' X 20' inside clear dimension masonry block refuse enclosure with 6' high perimeter walls shall be constructed in accordance with City Std. GE-41, modified to include installation of 12" X 12" interior concrete curbs and 10' concrete apron. If enclosure will be used to service restaurants then a separate grease bin container area shall be constructed and hot/cold water hose bibs shall be installed in accordance with City Standard GE-41. The refuse enclosure shall have gates of chain-link fencing with earth-tone color vinyl slats or other approved gate material. The enclosure shall be architecturally compatible with surrounding buildings, and the location of the enclosure shall be approved by both the Public Works and Community Development Departments.
2. That nothing other than the city refuse bins shall be stored or kept in refuse enclosures.
3. That refuse enclosure gates shall be securely closed except when in use.
4. That refuse enclosures shall not be located adjacent to combustible construction or beneath windows or non-protected eaves.
5. That all on site vehicle routes used to service trash enclosure shall be constructed in accordance with City Standard GE-32 Industrial Parking Lot pavement requirements to provide an adequate pavement structure section for refuse truck use.
6. That the applicant shall participate in all available waste recycling & reuse programs **including the new requirement for food waste separate bin service (if applicable).**

Nick Mechem

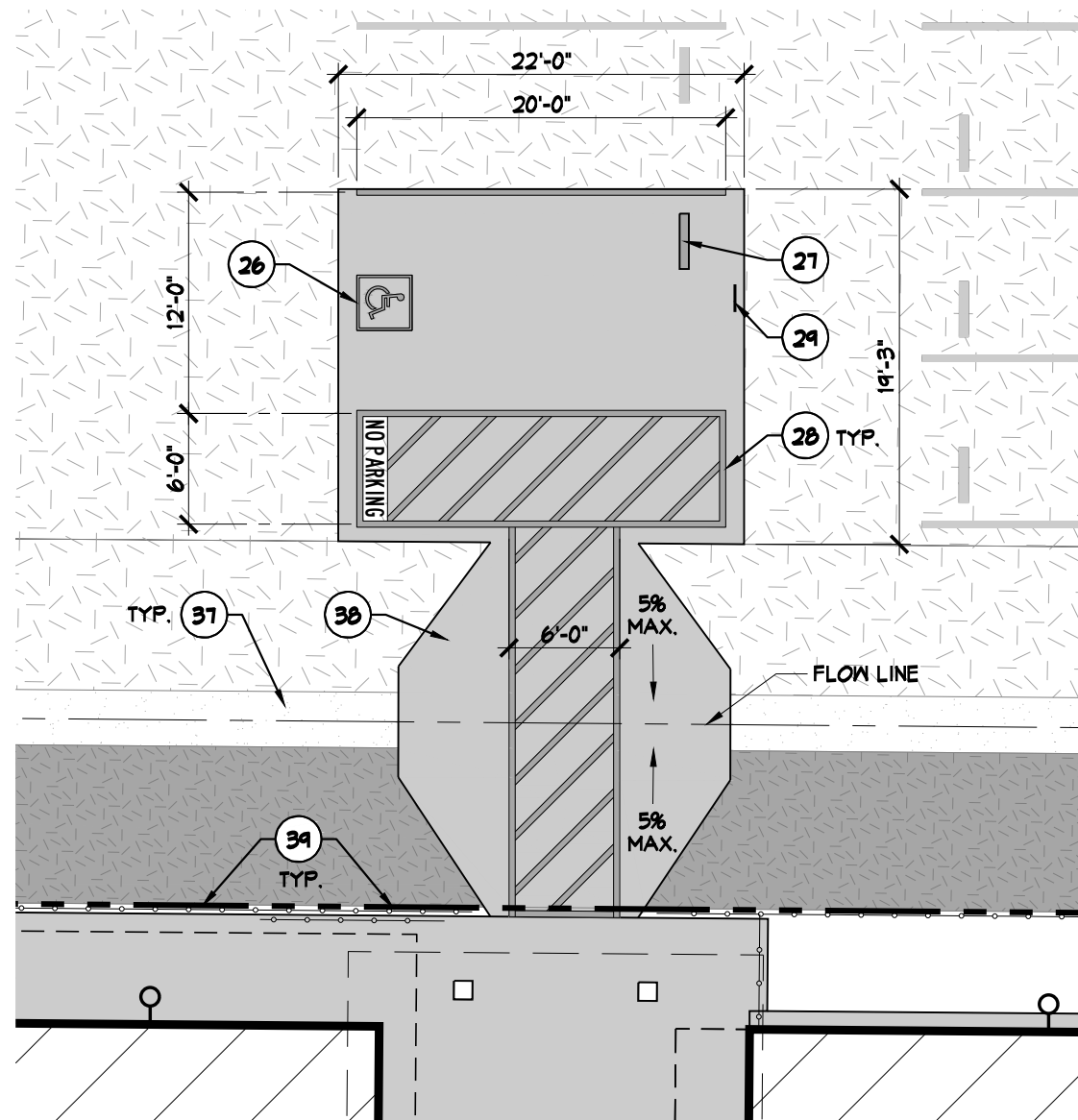
3/29/2024

Refuse Supervisor (559) 585-7992

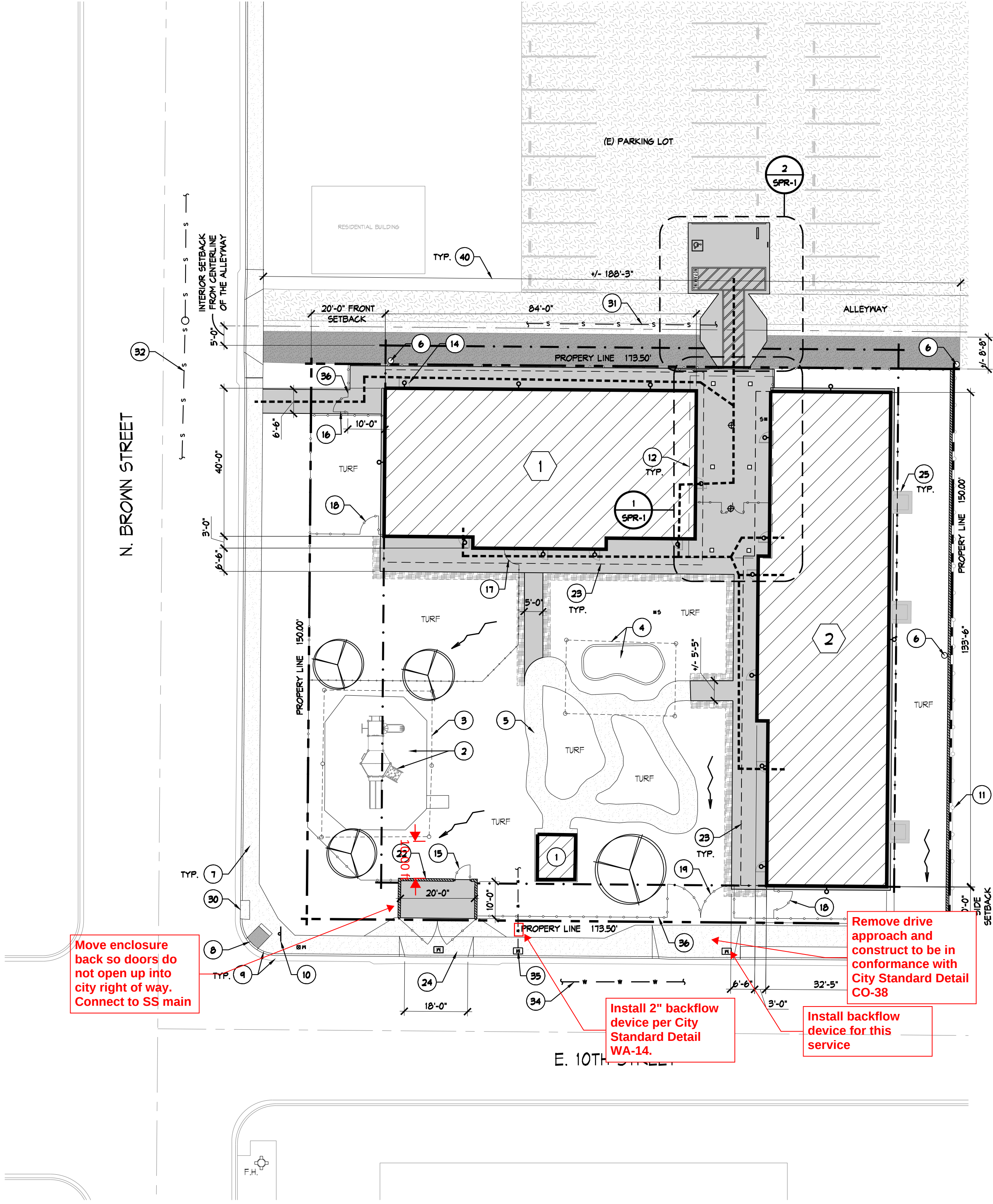
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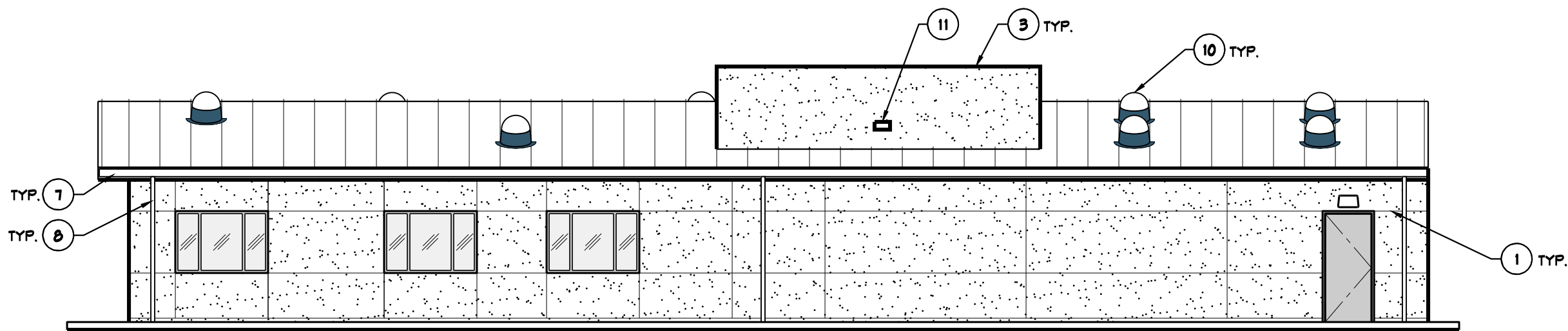


ENLARGED SITE PLAN
SCALE: 1" = 10'

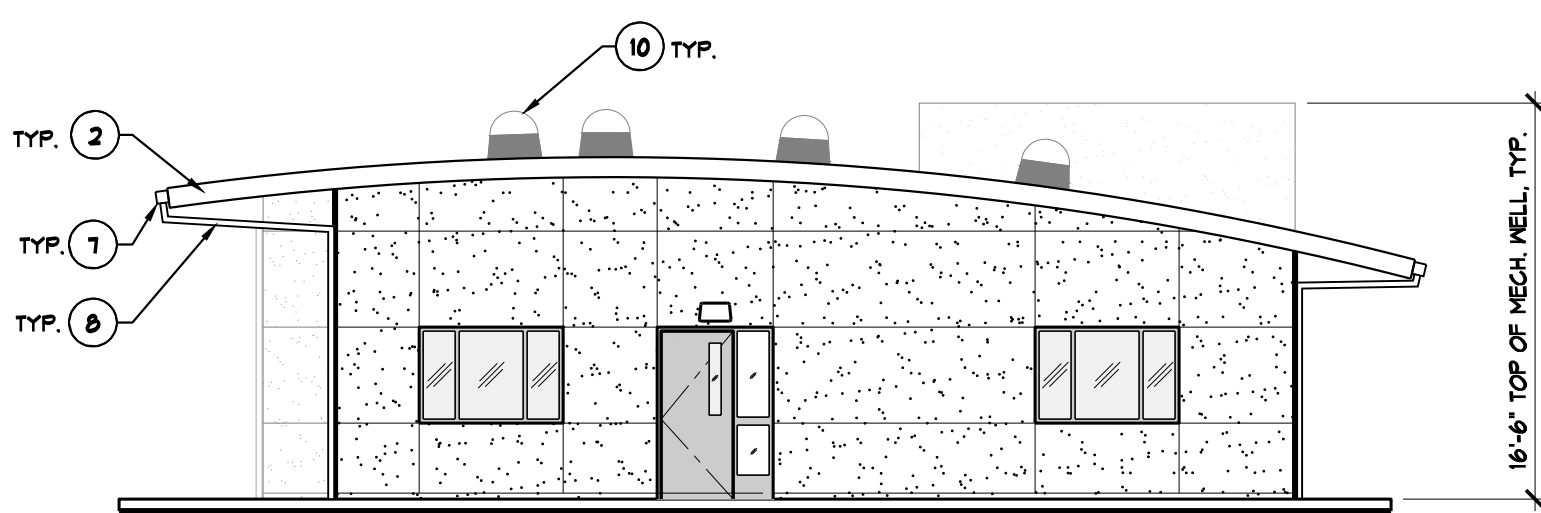


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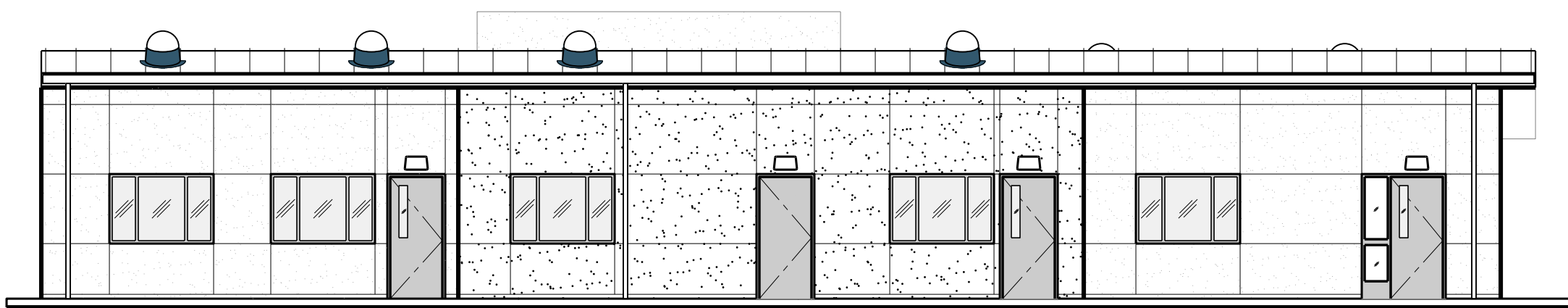




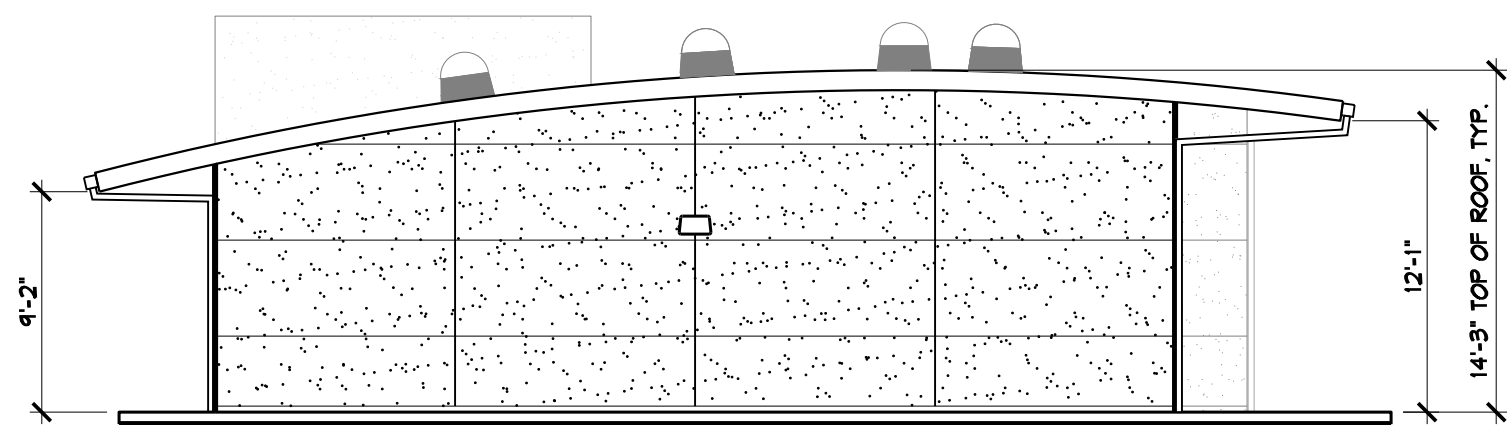
BUILDING 1 NORTH ELEVATION



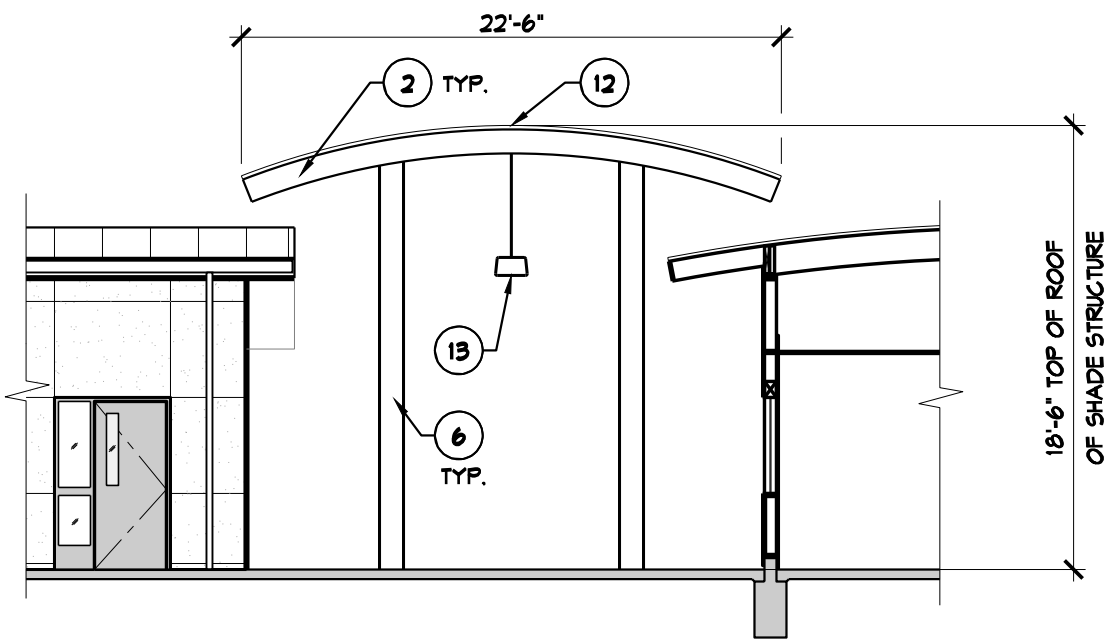
BUILDING 1 EAST ELEVATION



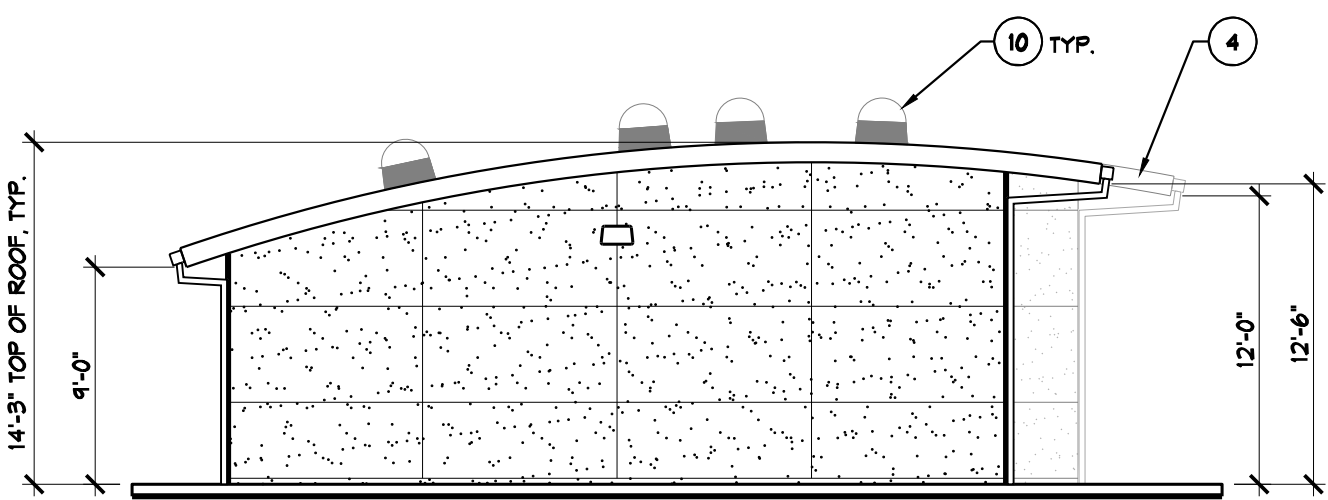
BUILDING 1 SOUTH ELEVATION



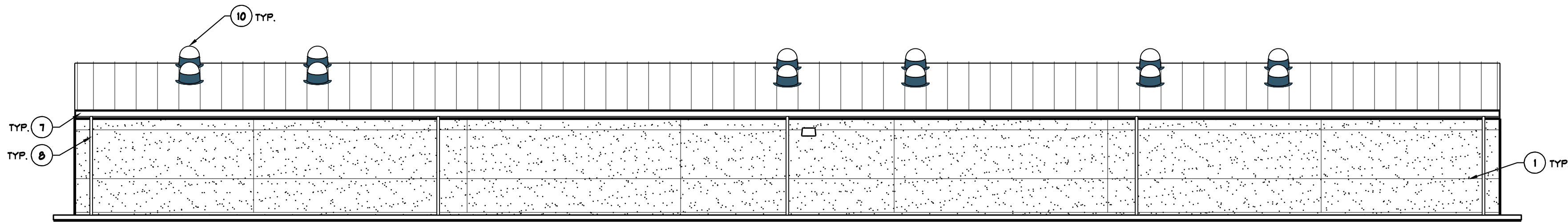
BUILDING 1 WEST ELEVATION



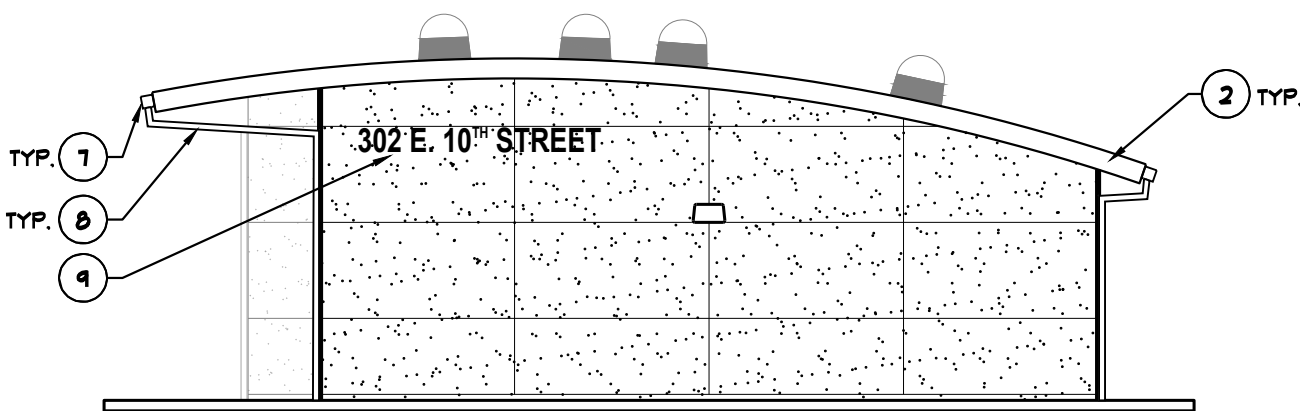
SHADE STRUCTURE SOUTH ELEVATION



BUILDING 2 NORTH ELEVATION

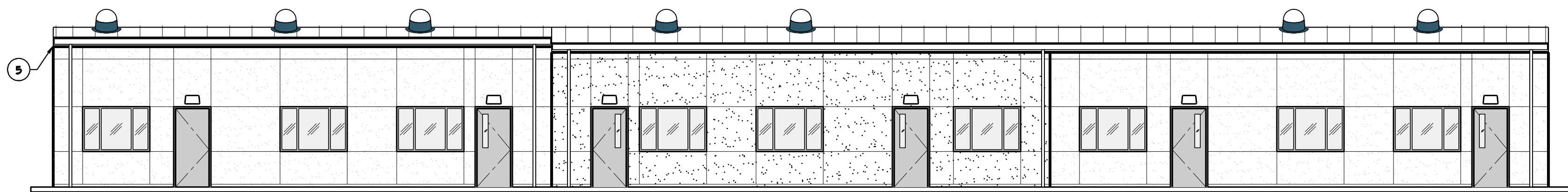


BUILDING 2 EAST ELEVATION



BUILDING 2 SOUTH ELEVATION
EXTERIOR ELEVATIONS

SCALE : 1/8" = 1'-0"



BUILDING 2 WEST ELEVATION

KEYNOTES

- 1 PLASTER SCREEDS
- 2 FASCIA
- 9 MECHANICAL WELL
- 4 T' ROOF OVERHANG BEYOND
- 5 FASCIA OF 4' ROOF OVERHANGS
- 6 12"x12" STEEL COLUMN
- 7 RAIN GUTTER
- 8 DOWNSPOUT
- 9 PROPERTY ADDRESS IN 12" HIGH CONTRASTING LETTERING
- 10 SOLATUBE AT ROOF, TYP.
- 11 SCUPPER AT MECHANICAL WELL WALL
- 12 CURVED METAL ROOF OF SHADE STRUCTURE TO MATCH ADJACENT BUILDINGS, EXPOSED BEAMS UNDERNEATH
- 13 EXTERIOR PENDANT LIGHT FIXTURE

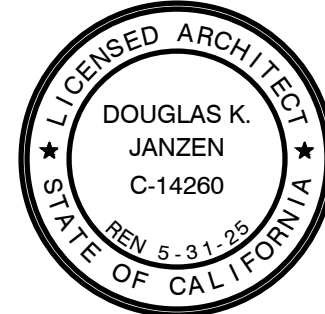
LEGEND

- CEMENT PLASTER
- STANDING SEAM METAL ROOFING
- EXTERIOR LIGHT FIXTURE

NOTES



1736 S. Central Street, Suite A
Visalia, CA 93277
P: 559.738.0309 • info@dkjarchitects.com



DRAWN BY: BM
DATE: 1/16/2024
REVISED:

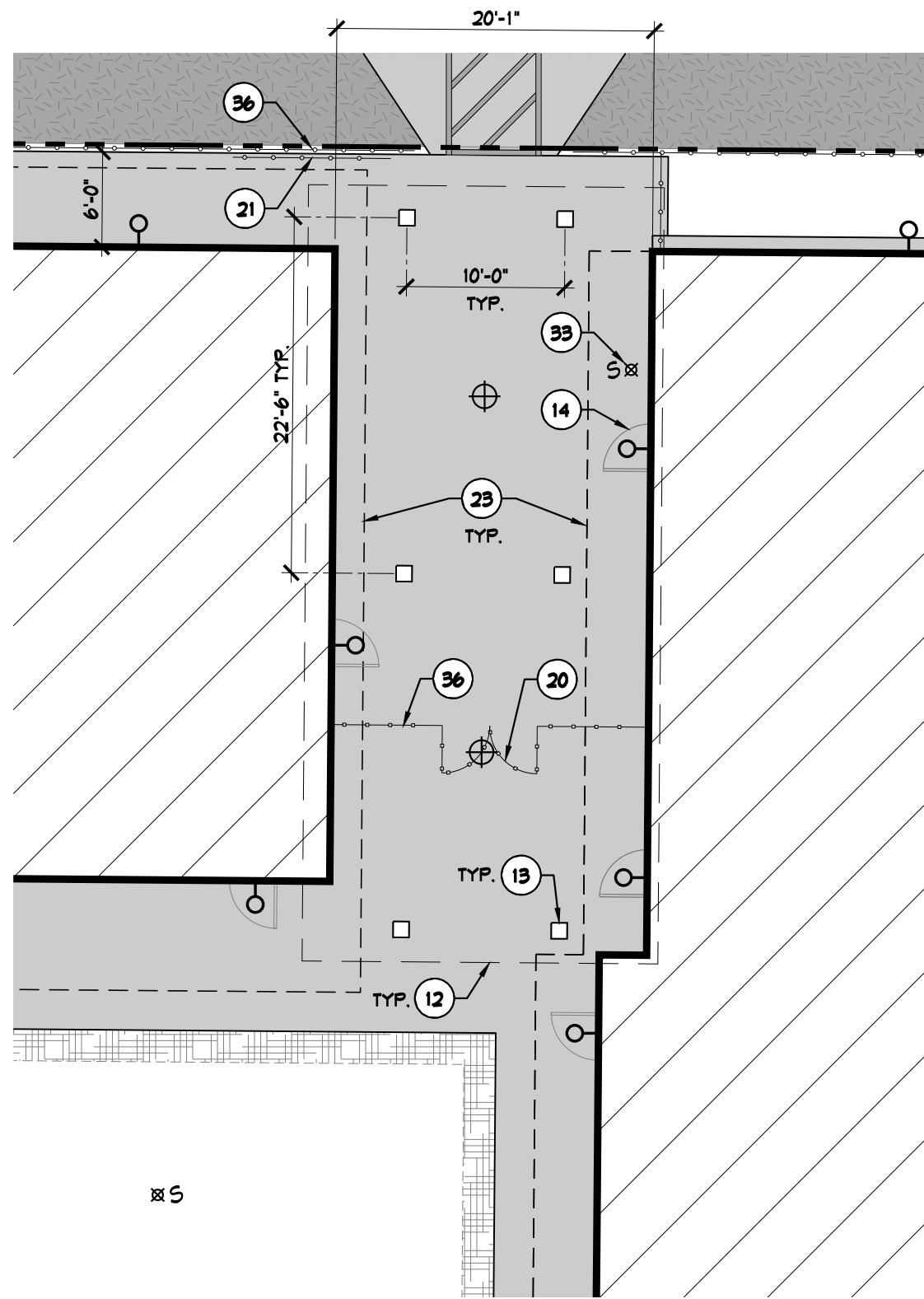
PRESCHOOL CLASSROOMS
CLAY CENTER

PROJECT NUMBER: 202226.10
DRAWING TITLE

EXTERIOR ELEVATIONS

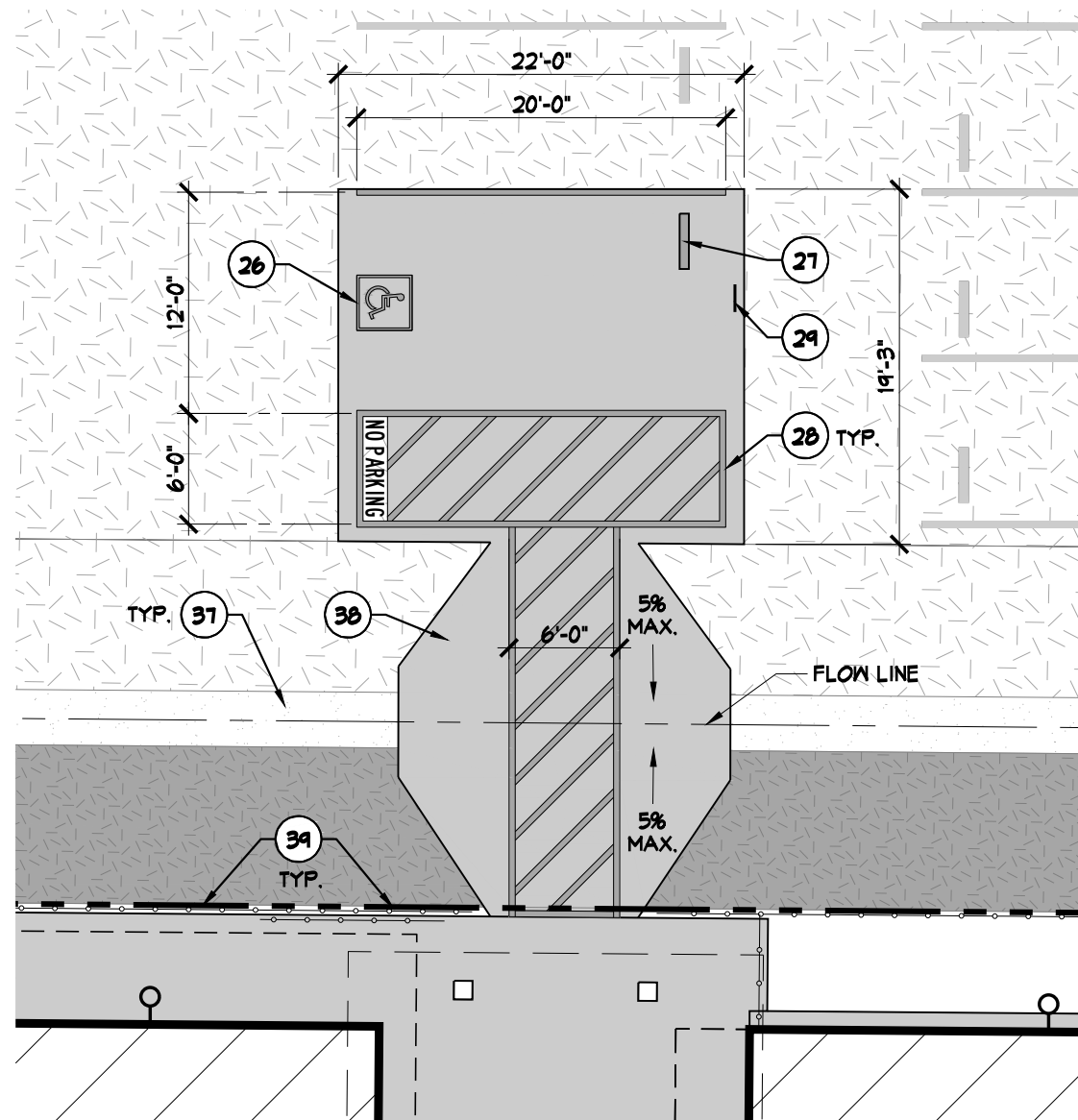
DRAWING NUMBER

SPR-2



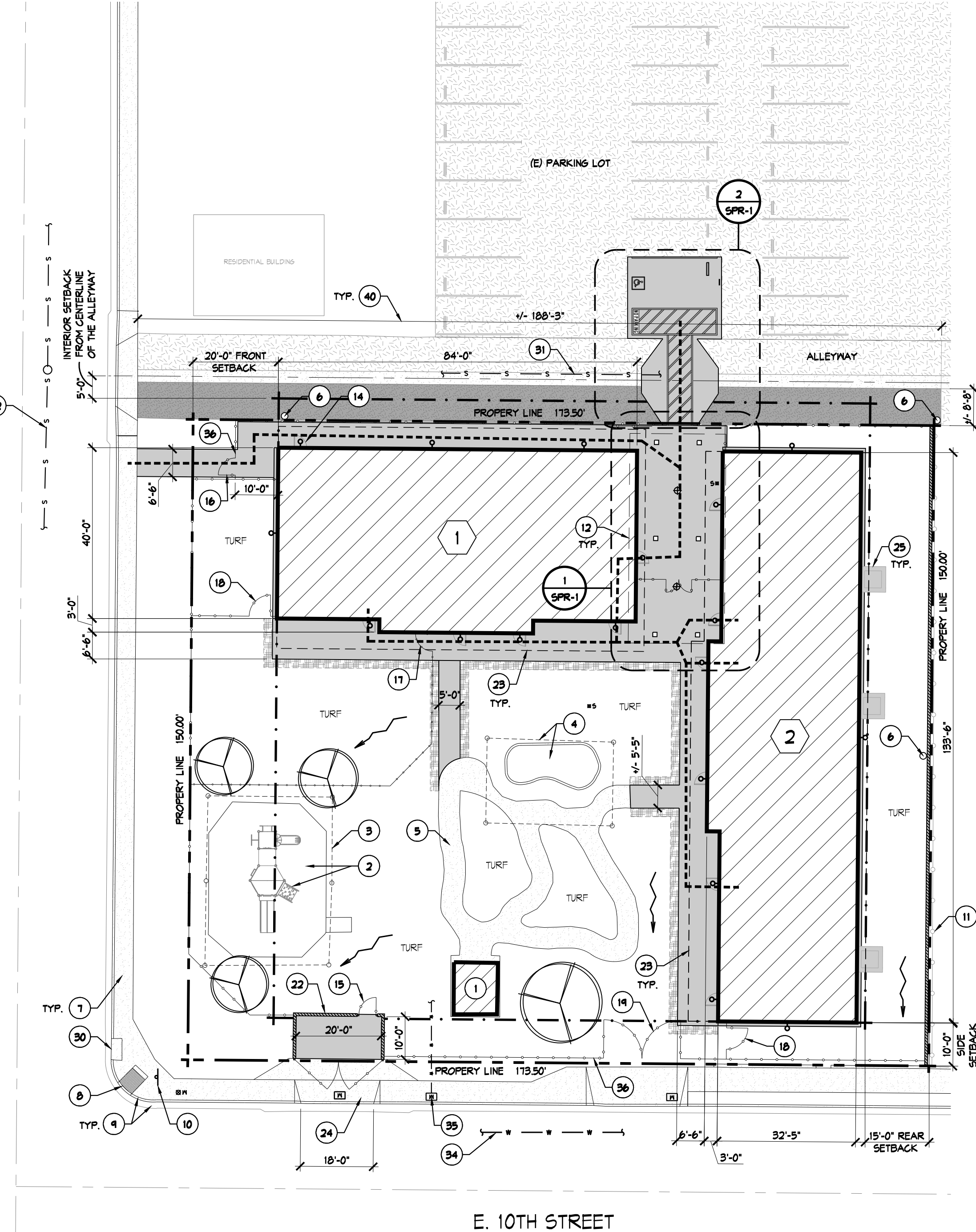
ENLARGED SITE PLAN

SCALE: 1" = 10'



ENLARGED SITE PLAN

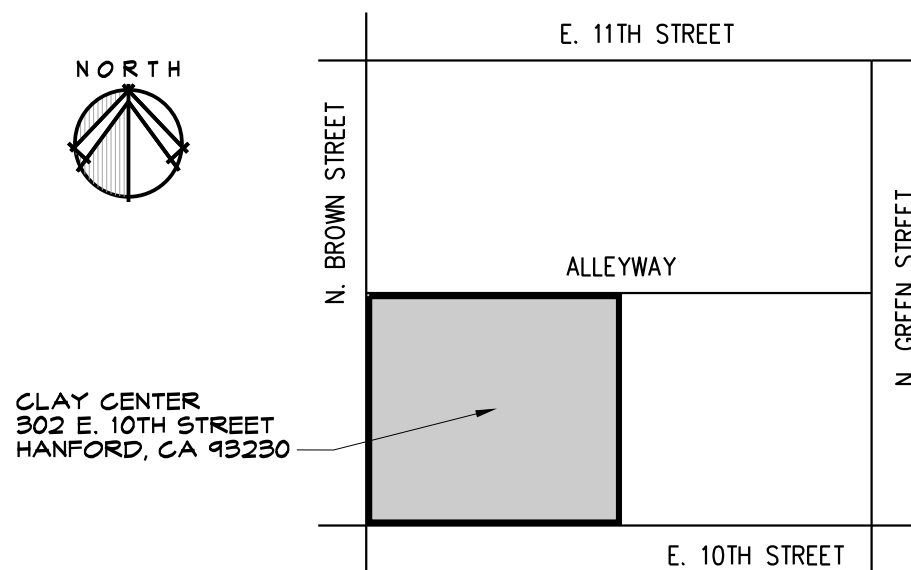
SCALE: 1" = 10'



PROPOSED SITE IMPROVEMENT PLAN

SCALE: 1" = 20'

VICINITY MAP



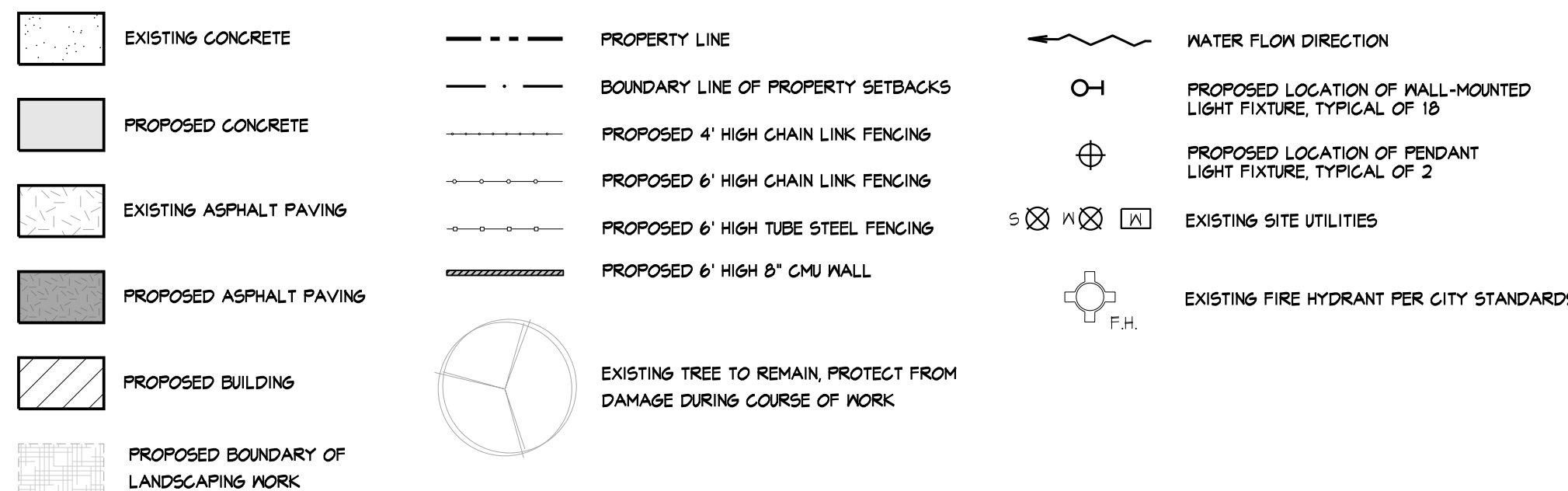
ACCESSIBLE PATH OF TRAVEL

PATH OF TRAVEL (P.O.T.)

ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLANS IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELED AT 12 MAXIMUM SLOPE OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAXIMUM AND AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM AND SLIP RESISTANT. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL ABOVE 27" AND LESS THAN 80". ARCHITECT SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.

DURING CONSTRUCTION, IF P.O.T. ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NONCONFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT.

LEGEND



PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF THE PLACEMENT OF TWO PROPOSED MODULAR BUILDINGS FOR FOUR PRESCHOOL CLASSROOMS AND OFFICE SPACE. THE EXISTING OUTDOOR PLAYGROUND AND PLAY STRUCTURE ARE TO REMAIN. THE PROJECT IS TO INCLUDE ONE NEW VAN ACCESSIBLE PARKING STALL ON THE EXISTING OFF-SITE PARKING LOT, AS WELL AS IMPROVEMENTS TO THE EXISTING ALLEYWAY BETWEEN THE PROPERTY AND THE PARKING LOT.

PROJECT INFORMATION

OWNER: KINGS COMMUNITY ACTION ORGANIZATION
1130 N. 11TH AVENUE, HANFORD, CA 93230
CONTACT: JEFF GARNER
PHONE: (559) 415-1202 EMAIL: jgarnerskcaoo.org

PROJECT ADDRESS: 302 E. 10TH STREET, HANFORD, CA 93230

ARCHITECT: DOUGLAS K. JANZEN
1736 S. CENTRAL STREET, SUITE A, VISALIA, CA 93271
CONTACT: DOUGLAS K. JANZEN
PHONE: (559) 738-0309 EMAIL: doug@dkjarchitects.com

APN #: 010-224-023-000

BUILDING SQUARE FOOTAGE: BUILDING 1 - 3,468 S.F.
BUILDING 2 - 4,461 S.F.

PROPERTY AREA: 0.54 ACRES

OCCUPANCY: E 4 B

ZONING: MEDIUM DENSITY RESIDENTIAL

APPLICABLE CODES: 2022 CBC

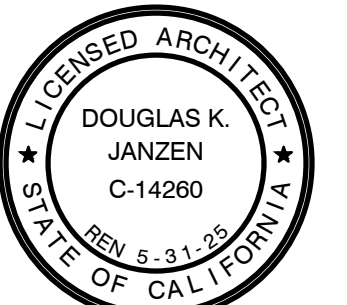
AUTHORITY HAVING JURISDICTION: CITY OF HANFORD

KEYNOTES

- (E) TOY STORAGE SHED
- (E) PLAYGROUND EQUIPMENT W/ FALL SAFE MATERIAL
- OUTLINE OF (E) CANOPY SHADE STRUCTURE
- OUTLINE OF (E) CANOPY SHADE STRUCTURE AND SANDPIT
- (E) CONCRETE TRICYCLE PATH
- (E) POWER POLE TO REMAIN, PROTECT IT AND WIRES FROM DAMAGE, TYP. OF 3
- (E) CITY SIDEWALK TO REMAIN
- (E) CURB RAMP AT CORNER W/ TRUNCATED DOMES PER CITY STANDARDS
- (E) CURB AND GUTTER PER CITY STANDARDS
- (E) YIELD STREET SIGN
- (E) WOODEN RESIDENTIAL FENCE AT ADJACENT PROPERTY (SHOWN OFFSET FOR CLARITY)
- (N) ROOF OVERHANGS OF PROPOSED SHADE STRUCTURE, SEE SHEET SPR-2
- (N) 12"X12" PAINTED STEEL COLUMNS OF PROPOSED SHADE STRUCTURE, TYP. OF 6
- (N) EMERGENCY EXIT, ONLY OPERABLE FROM INTERIOR SIDE, TYP. OF 2
- (N) 6' HIGH X 4' WIDE CHAIN LINK MAINTENANCE GATE
- (N) 6' HIGH X 4' WIDE ACCESSIBLE CHAIN LINK GATE
- (N) 4' HIGH X 4' WIDE ACCESSIBLE CHAIN LINK GATE
- (N) 6' HIGH X 5' WIDE CHAIN LINK MAINTENANCE GATE
- (N) 6' HIGH X 18' WIDE DBL. LEAF CHAIN LINK MAINTENANCE GATE
- (N) 6' HIGH X 6' WIDE ACCESSIBLE TUBE STEEL DBL. LEAF SECURITY GATE TO BE SECURED OUTSIDE DROP-OFF/PICK-UP HOURS
- (N) 6' HIGH X 10' WIDE ROLLING CHAIN LINK GATE
- (N) 6' HIGH CMU BLOCK TRASH ENCLOSURE PER CITY STANDARDS
- OUTLINE OF (N) ROOF OVERHANGS OF BUILDING
- (E) DRIVE APPROACH PER CITY STANDARDS
- (N) CONDENSER ON (N) 6'X6' MECHANICAL CONCRETE PAD, TYP. OF 3
- (N) VAN ACCESSIBLE PARKING STALL W/ I.S.A. SYMBOL
- (N) CONCRETE WHEELSTOP
- (N) 4" WIDE DIAGONAL STRIPING
- (N) ADA PARKING SIGN ON POLE
- (E) STORM DRAIN
- (E) 6" CITY SEWER MAIN LINE
- (E) 12" CITY SEWER MAIN LINE
- (N) PROPOSED 4" SEWER CONNECTION FROM (E) SEWER CLEANOUT
- (E) 8" CITY WATER MAIN LINE
- (N) PROPOSED POINT OF CONNECTION 2" WATER LINE TO CONNECT TO BUILDINGS
- (N) KNOX BOX AT GATE, TYP. OF 3
- (E) CONCRETE V GUTTER ALONG ALLEYWAY
- (N) CONCRETE V GUTTER
- (N) RED PAINT AT CURB ALONG EDGE OF ALLEYWAY
- DIMENSIONS NOTED W/ V- ARE TO BE COORDINATED WITH SCOPE OF WORK AND FIELD VERIFIED, TYP.



1736 S. Central Street, Suite A
Visalia, CA 93277
P: 559.738.0309 • info@dkjarchitects.com



DRAWN BY: BM
DATE: 1/24/2024
REVISED:

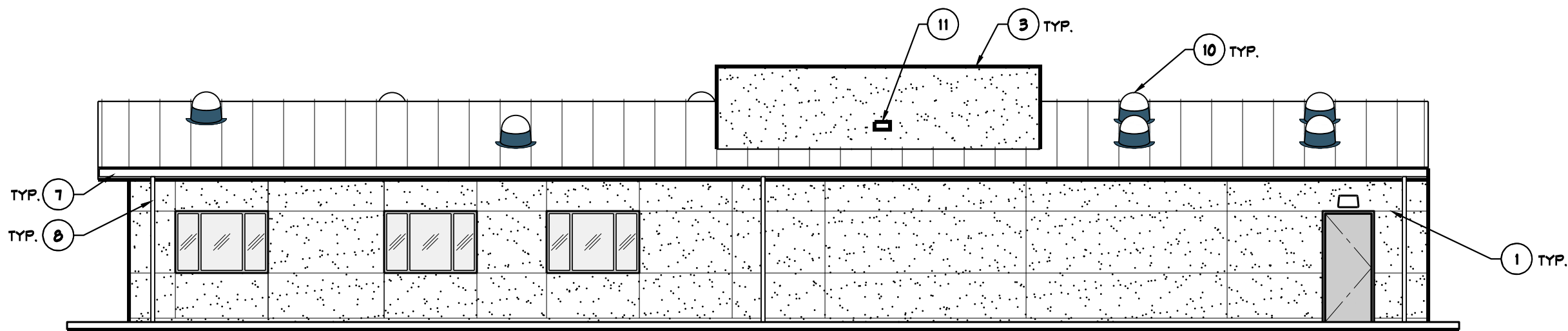
PRESCHOOL CLASSROOMS
CLAY CENTER

PROJECT NUMBER: 202226.10
DRAWING TITLE

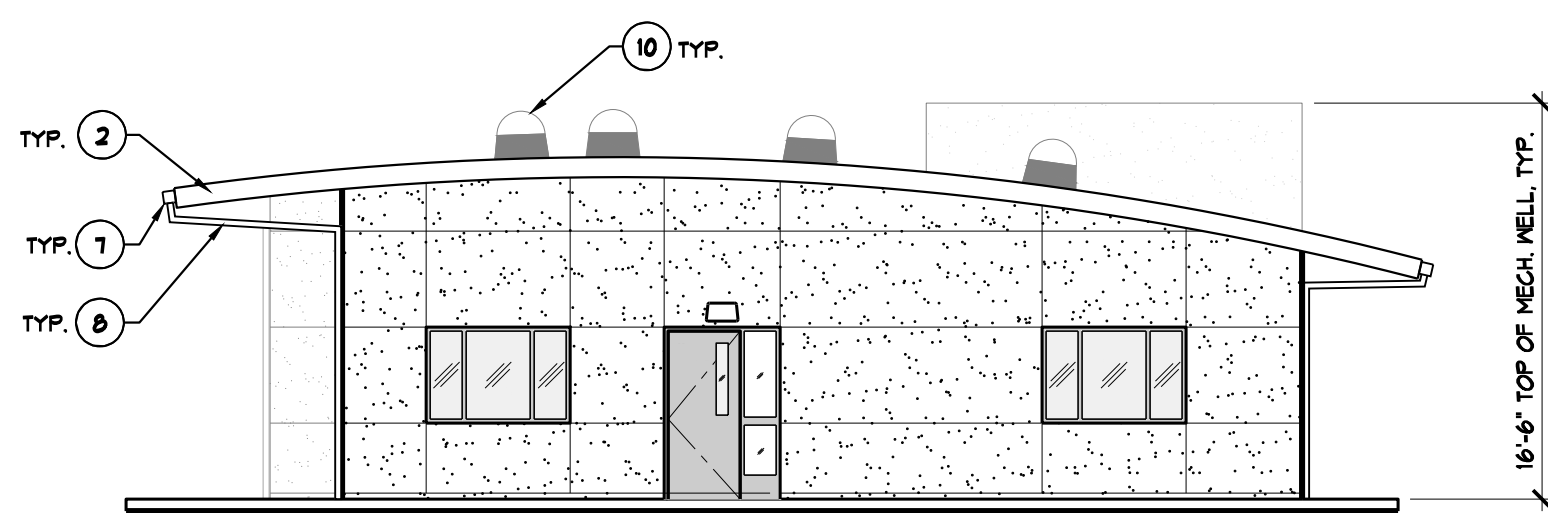
PROPOSED SITE PLAN

DRAWING NUMBER

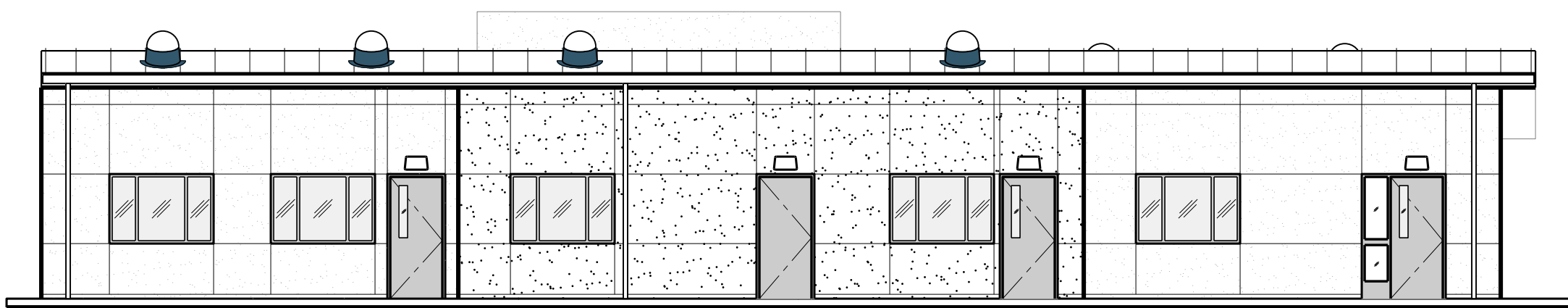
SPR-1



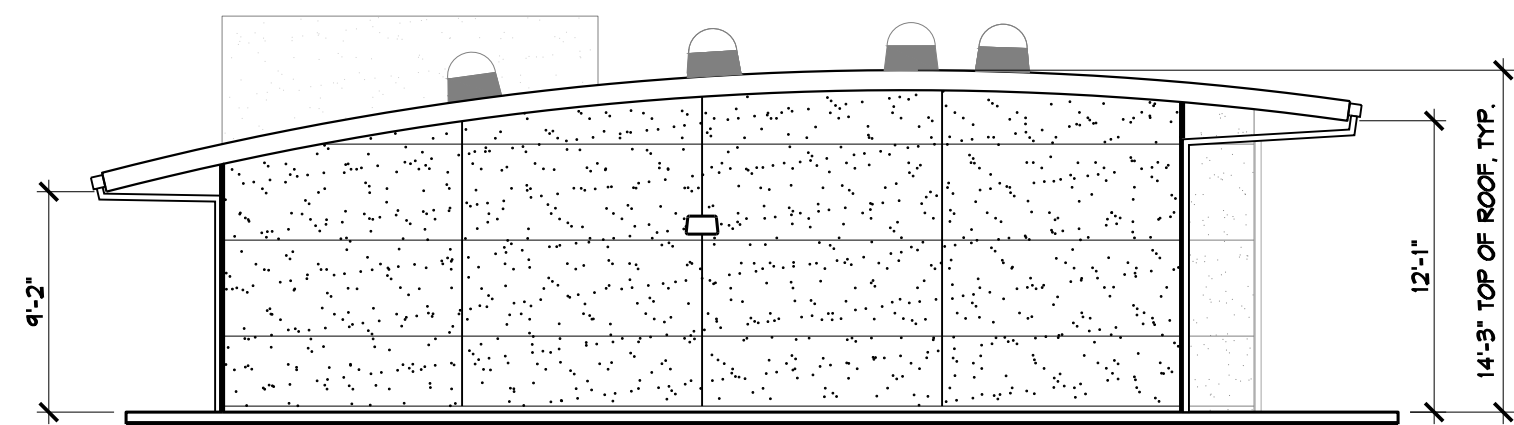
BUILDING 1 NORTH ELEVATION



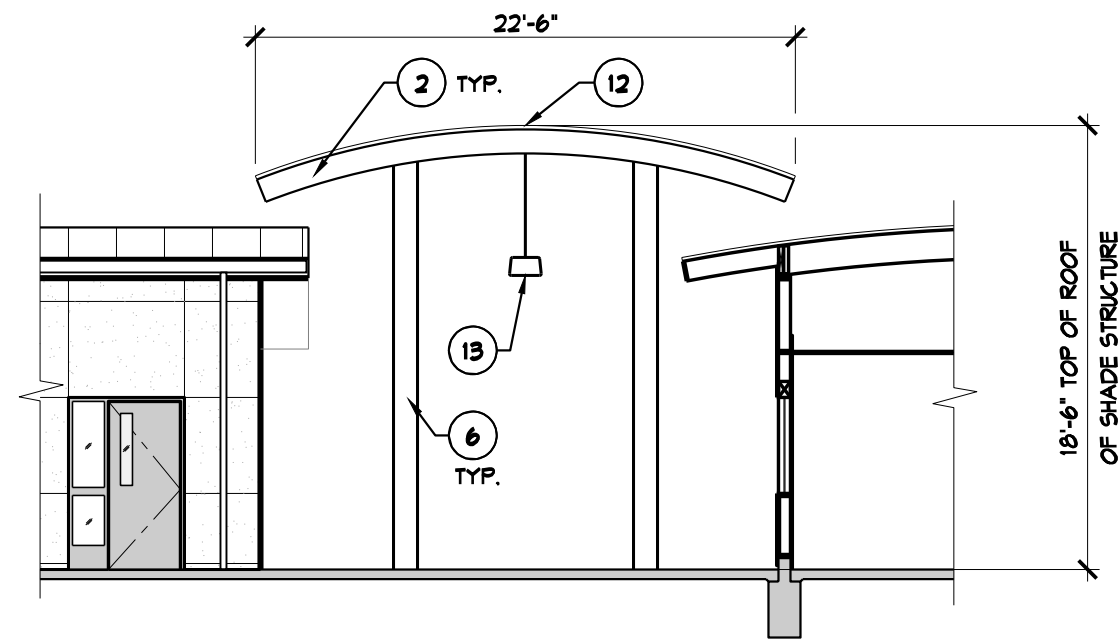
BUILDING 1 EAST ELEVATION



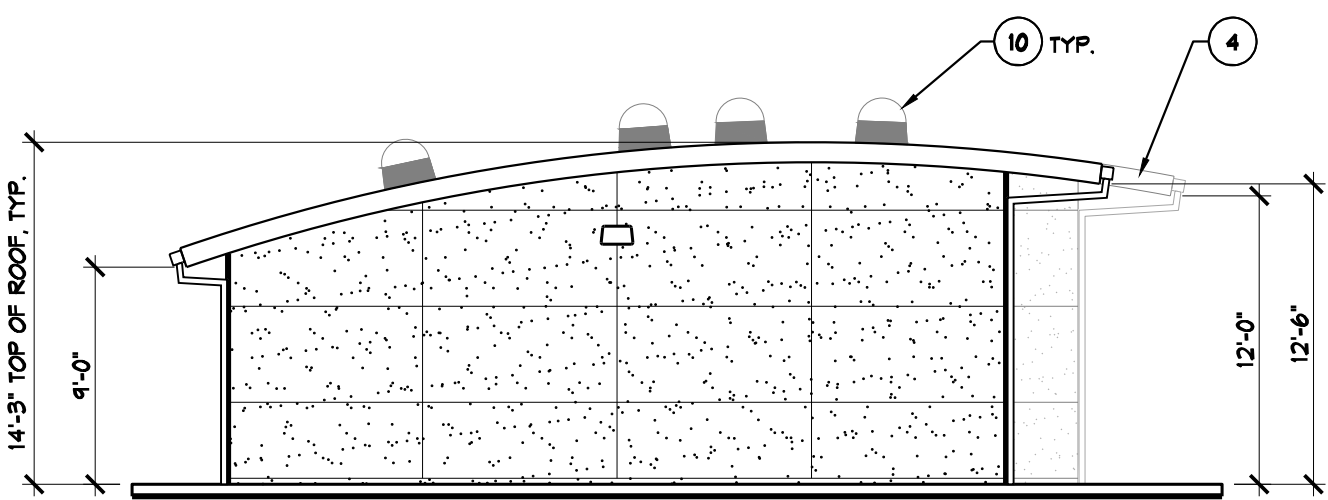
BUILDING 1 SOUTH ELEVATION



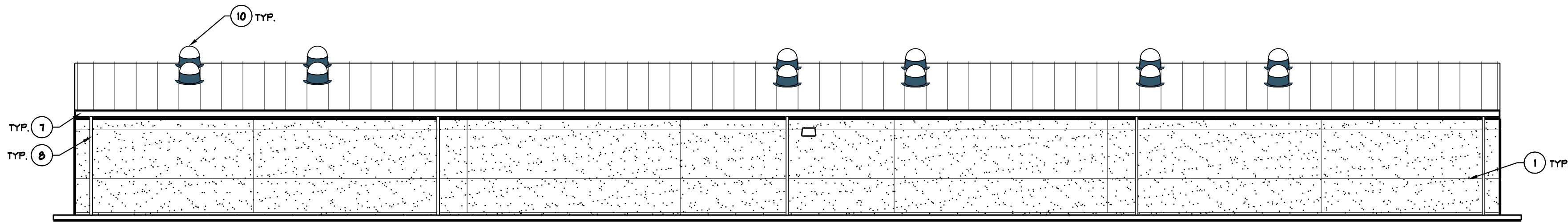
BUILDING 1 WEST ELEVATION



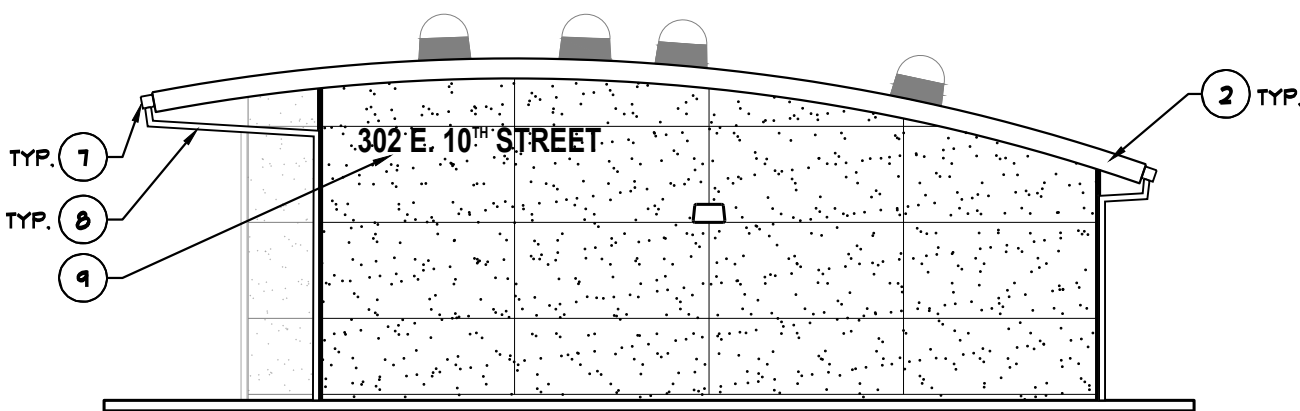
SHADE STRUCTURE SOUTH ELEVATION



BUILDING 2 NORTH ELEVATION

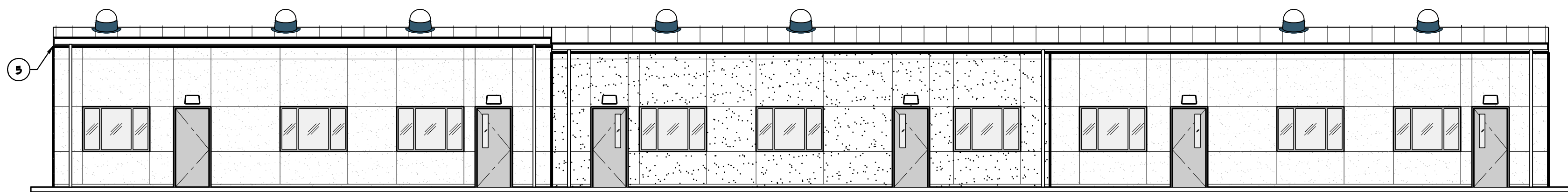


BUILDING 2 EAST ELEVATION



BUILDING 2 SOUTH ELEVATION
EXTERIOR ELEVATIONS

SCALE : 1/8" = 1'-0"



BUILDING 2 WEST ELEVATION

KEYNOTES

- 1 PLASTER SCREEDS
- 2 FASCIA
- 9 MECHANICAL WELL
- 4 T' ROOF OVERHANG BEYOND
- 5 FASCIA OF 4' ROOF OVERHANGS
- 6 12"x12" STEEL COLUMN
- 7 RAIN GUTTER
- 8 DOWNSPOUT
- 9 PROPERTY ADDRESS IN 12" HIGH CONTRASTING LETTERING
- 10 SOLATUBE AT ROOF, TYP.
- 11 SCUPPER AT MECHANICAL WELL WALL
- 12 CURVED METAL ROOF OF SHADE STRUCTURE TO MATCH ADJACENT BUILDINGS, EXPOSED BEAMS UNDERNEATH
- 13 EXTERIOR PENDANT LIGHT FIXTURE

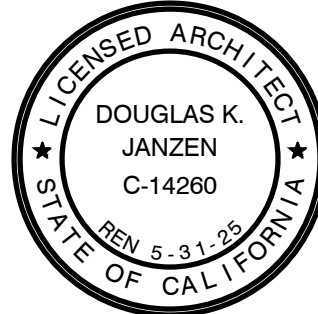
LEGEND

- CEMENT PLASTER
- STANDING SEAM METAL ROOFING
- EXTERIOR LIGHT FIXTURE

NOTES



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DRAWN BY: BM
DATE: 1/16/2024
REVISED:

PRESCHOOL CLASSROOMS
CLAY CENTER

PROJECT NUMBER: 202226.10
DRAWING TITLE

EXTERIOR ELEVATIONS

DRAWING NUMBER

SPR-2

City of HANFORD

CALIFORNIA 93230
CITY OFFICES 317 NORTH DOUTY STREET



MAYOR
TRAVIS PADEN

VICE MAYOR
MARK KAIRIS

COUNCIL MEMBERS
KALISH MORROW
DIANE SHARP
LOU MARTINEZ

CITY MANAGER
MARIO CIFUENTEZ II

CITY ATTORNEY
ROBERT M. DOWD

DATE: April 1, 2024

PROJECT: Site Plan Review SPR0071-23

APPLICANT: Brenna Mitchell

LOCATION: 302 E. Tenth St. (APN 010-224-023)

PROPOSAL: Place 2 new modular buildings for 4 preschool classrooms and office space

ZONING: R-M Medium Density Residential

SITE PLAN REVIEW COMMITTEE REVIEW DATE: October 18, 2023; February 7, 2024

Enclosed for your review are the comments and decisions of the Site Plan Review Committee. Please review all comments, since they may impact your project:

☐ **RESUBMIT:** Major changes to your plans are required prior to accepting construction drawings for a building permit. Your project must return to the Site Plan Review Committee for review of the revised plans.

☐ **MEETING REQUIRED:** During site plan review, concerns were identified, schedule a meeting with the following prior to resubmittal:

☐ Planning

☐ Fire

☐ Solid Waste

☐ Wastewater

☐ Building

☐ Engineering

☐ Police

☐ Parks and Recreation

☒ REVISE AND PROCEED

- ☒ Approved subject to the following and the attached conditions of approval.
☒ Submit plans for a building permit between the hours of 8:00 a.m. and 4:00 p.m.
☒ Your Plans must be reviewed by:

☐ City Council

☐ Parking and Traffic Commission

☐ Other: _____

☒ Planning Commission **CUP**

☐ Parks and Recreation Commission

Signed,

Mark Manha

Mark Manha, Associate Planner
Community Development Department

April 1, 2024
DATE

EXPIRATION

A site plan approval shall expire one (1) year from its approval date, unless a building permit application has been submitted or the use has commenced. Prior to expiration, the Community Development Director may extend the permit expiration date by one (1) year if there is substantial evidence that the applicant is diligently pursuing building permit approval or commencement of the use (Hanford Municipal Code Section 17.72.070).

CALIFORNIA ENVIRONMENTAL QUALITY ACT

Site Plan Review is a ministerial action, therefore not subject to the California Environmental Quality Act (CEQA) (CEQA Guidelines 15268 and MC 17.70.070). **Exemption No. 2023-103**

COMMENTS AND CONDITIONS OF APPROVAL

THE FOLLOWING DEPARTMENT COMMENTS AND CONDITIONS ARE ATTACHED:

- ☒ PLANNING
- ☒ BUILDING
- ☒ ENGINEERING
- ☐ SOLID WASTE
- ☐ WASTEWATER
- ☐ POLICE
- ☒ FIRE
- ☐ PARKS AND RECREATION

DEFENSE AND INDEMNIFICATION PROVISION

That the applicant shall defend, indemnify, and hold harmless the City of Hanford ("City"), its officials, officers, employees, representatives, agents and attorneys, from and against all claims, damages, losses, judgments, liabilities, expenses and other costs, including litigation costs and attorney's fees, arising out of, resulting from, or in connection with, the City's act or acts leading up to and including approval of any environmental document and/or granting of any approvals relating to the Project. Applicant's obligation to defend, indemnify and hold the City harmless specifically includes, but is not limited to, any suit or challenge by any third party against the City which challenges or seeks to set aside, void or annul the legality or adequacy of any environmental document approved by the City or any approval related to the Project.

APPLICANT'S STATEMENT (Must be signed prior to issuance of a building permit)

I have reviewed a copy of the Site Plan Review Approval SPR0071-23 Revision 1 and I understand that the proposed construction and/or land use is dependent upon the fulfillment of the conditions of approval and construction of all required public improvements prior to use, inauguration or occupancy, unless other arrangements are approved.

Applicant or Authorized Representative

PLANNING DIVISION
SITE PLAN REVIEW COMMENTS

MEETING DATE: October 18, 2023; February 7, 2024

SITE PLAN NUMBER: SPR0071-23 REVISION 1

CONTACT: Mark Manha, Associate Planner: (559) 585-2583, mmanha@hanford.city

General Plan Designation: Medium-Density Residential

Zoning: R-M Medium-Density Residential

Other Special Districts: N/A

Planning Division Recommendation: ☒ Revise and Proceed ☐ Resubmit

The project does meet the requirements of the Hanford Municipal Code, development standards, and other codes and policies.

Correction(s):

- Refuse enclosure is not permitted within the 10 ft. street-side setback area along Tenth Street, which shall accommodate the driveway apron for the enclosure as requested by the Public Works Department.
- As a reverse corner lot, the fence along Tenth Street shall maintain a minimum five-foot setback from the street-side property line. The fence along Tenth Street shall begin 25 feet from the front property line along Brown Street.

Required Entitlements:

- Conditional Use Permit (already applied)

R-M Medium-Density Residential - all checked comments shall apply

General:

- ☒ That approval of this project does not exempt compliance with all applicable sections of the Zoning Ordinance, Public Works Improvement Standards, fees, or other City Ordinances.
- ☒ That all approved proposals of the applicant be conditions of development, if not mentioned herein.
- ☒ That the site be developed according to the approved site plan, titled Site Plan Review No. 0071-23 Revision 1 with minor modifications to be approved by the Community Development Department.
- ☒ That no expansion of the use which would tend to increase the projected scale of operations beyond the scope and nature described in this Site Plan Review shall be permitted except upon application for, and approval of, modification of this application according to all procedures and requirements thereof.

- ☒ That mechanical equipment shall be located a minimum of five feet from a side lot line that adjoins a neighboring side lot line.

Cultural Resources:

- ☒ That if cultural resources are discovered during construction or related activities, all work shall be halted and a qualified archeologist and the City of Hanford shall be notified. The find shall be properly investigated and appropriate measures are to be taken before construction may continue.

Coverage: (Section 17.12.060)

- ☒ That the maximum coverage of a lot shall be determined by the combined building setback area requirements, accessory structure limitations, open space requirements, and off-street parking requirements.

Building Setback Area: (Section 17.12.070)

- ☒ That no structure shall be placed within a building setback area.
- ☒ The front building setback area shall be 15 feet from the front lot line for livable space and 20 feet for garages, carports, and other non-livable building space.
- ☒ That the rear building setback shall be 15 feet from the rear lot line, except where there is a landscape easement with a wall or fence on the rear of the lot, then the rear building setback shall be 20 feet.
 - ☒ The rear building setback area shall be increased by 10 feet for buildings over one story high.
- ☒ **That the side building setback area shall be five feet from an interior side lot line and 10 feet from a street side property line.**
- ☐ That where there is a landscape easement with a wall or fence on the street side of the lot the side yard setback area shall be measured from the easement area instead of the side lot line.

Distance between Structures: (Section 17.12.080)

- ☒ The minimum distance between structures shall be 10 feet, except as provided by the building code.

Height of Structures: (Section 17.12.090)

- ☒ The maximum structure height shall be 35 feet.

Driveways: (Section 17.12.110)

- ☒ That the width of a driveway and any paved area shall not cumulatively exceed 40% of the width of the lot's street frontage on which the driveway and any paved area faces. In the case

of “L” or “U” shaped driveways or other configurations besides perpendicular driveways, the paved area of these driveways shall not exceed 50% of the front building setback area.

- ☒ That on corner lots, the driveway shall be located on the side of the lot adjacent to the interior lot line.
- ☐ That on key lots, the driveway shall be located on the side of the lot, which is not adjacent to the rear lot line of the adjacent reverse corner lot.

Off Street Parking: (Section 17.12.140 and 17.54)

- ☒ That a minimum of 17 spaces shall be maintained for the site, based on the ratio “1 space per employee plus on-site drop-off area” for a day care:

Calculation:

15 employees + 2 spaces for the drop-off area = **17 parking spaces minimum**

- ☒ That the existing parking lot at 323 E. Eleventh St. (APN 010-224-022) may be utilized for the required parking spaces for this use per the terms of the recorded Reciprocal Use and Maintenance Agreement against both properties.
- ☒ That the standard parking space shall not be less than 18.5 feet in length and nine feet in width, exclusive of aisles and access drives (Section 17.54.110 A).
- ☒ That the maximum number of compact-car parking spaces is limited to 30 percent of the total parking spaces required. A compact parking space shall not be less than 16 feet in length and 8 feet in width, and marked for compact cars (Section 17.54.110 B. and C).
- ☒ That there shall be no more than four compact spaces adjacent to each other.
- ☒ That parking for bicycles and low-emission vehicles shall be provided in accordance with the latest adopted version of the California Building Code (Section 17.54.190).
- ☒ That required parking spaces may not be provided in any front, side, or rear building setback area.
- ☒ That all parking areas shall have ingress and egress to and from a street or alley as required by the City’s standard specifications.
- ☒ That sufficient room for turning and maneuvering vehicles shall be provided on the site.
- ☒ That developed parking areas are to be utilized by all vehicles associated with or visiting the site.
- ☒ That the parking of vehicles on lawn, landscaped areas, or other areas not designed for parking are prohibited.
- ☒ That entrances and exits to parking lots and other parking facilities shall be provided only at locations approved by the Site Plan Review Committee.

- ☒ That parking lot lighting shall be deflected away from adjoining sites so as not to cause glare to such sites.
- ☒ That no commercial repair work, washing or servicing of vehicles shall be conducted in a parking area.
- ☒ That parking areas, aisles, and access drives shall be paved with a solid material so as to provide a durable, dustless surface and shall be so graded and drained as to dispose of surface water, except that long-term storage areas for vehicles in the C-S, I-L and I-H zone districts may be surfaced with rock, gravel, granite or solid paving.
- ☒ That parking areas shall be designed to the City's standard specifications and approval by the City Engineer.
- ☒ That all parking spaces, whether required by this chapter or in addition that which is required, shall be located on a lot or parcel behind the front building setback and outside of a street side yard setback, except that vehicles may park on a paved driveway in the front building setback area. This requirement applies to both covered and uncovered parking areas.

Fencing and Walls: (Sections 17.50.110 and 17.50.120)

- ☒ That fences and walls in the R-L, **R-M**, R-H, OR, O and PF zone districts shall be constructed or installed in accordance with the following:
 - ☒ Along a rear lot line not exceeding seven (7) feet in height.
 - ☒ Along an interior side lot line not exceeding seven (7) feet in height beginning at ten (10) feet from the front lot line.
 - ☒ **On a corner lot along the street side lot line not exceeding seven (7) feet in height beginning at twenty-five (25) feet from the front lot line. On a reverse corner lot, the fence or wall is to be set back from the street side lot line five (5) feet. On a reverse corner lot, the rear lot line fence is not to extend beyond the five (5) foot street side building setback area.**
 - ☒ On a corner lot when a residence is constructed with its front access facing the street side lot line of a corner lot, a six (6) foot high fence is to be placed ten (10) feet behind the front property line. The street corner forty-five (45) degree angle line of sight is to be maintained as described in subsection H of this section. When the front of the house fronts the street side lot line a fence exceeding three (3) or four (4) feet in height as described in subsections E and F of this section is to be set back ten (10) feet from the street side lot line.
 - ☒ Along a front lot line not exceeding three (3) feet in height.
 - ☒ Along a front lot line not exceeding four (4) feet in height when the upper one (1) foot is fifty percent (50%) or more open.
 - ☒ Along a front lot line an open chain link fence up to seven (7) feet in height may be located in conjunction with a public or quasi-public playground or park use.

- ☒ A six (6) foot fence or wall may be located in a front building setback area when set back ten (10) feet from the front lot line. Except in the case of a corner lot, the fence wall shall begin a forty-five (45) degree angle at a point twenty-five (25) feet from the front lot line located on the street side lot line.
- ☒ That any proposed fencing on the site be maintained in good repair.
- ☒ That no fence or wall shall be placed within the public right-of-way.
- ☒ That a masonry fence exceeding three (3) feet in height shall require engineered footings and a building permit. All other fencing exceeding seven (7) feet in height shall require engineered post footings and a building permit.
- ☒ That no hedge, shrub, fence, or wall exceeding the three (3) feet in height, or four (4) feet in height if the upper one (1) foot is fifty (50) percent or more open shall be planted, placed, or maintained within the twenty-five (25) feet corner sight triangle of a corner lot, or along a front or street side property line where the hedge, shrub, fence, or wall creates a traffic or pedestrian hazard as determined by the Community Development Director.

Landscaping: (Section 17.52)

- ☒ That except for driveways and approved parking areas all yard areas and setback areas visible from the street shall be landscaped with live plant materials and ornamentation common to the Hanford area or up to 100% of the yard and setback area may be landscaped with artificial turf and other permeable surfaces.
- ☒ General Design Standards: the following features shall be incorporated into the design of the proposed landscape and shown on the required landscape plans:
 - ☒ Publicly maintained landscape areas shall be separated from privately maintained landscape areas with, at a minimum, a four (4) inch wide concrete mow strip.
 - ☒ Pedestrian access to sidewalks and structures shall be integrated with the design of landscaped areas.
 - ☒ Landscape adjacent to driveways and parking areas shall be protected from vehicle damage through the provision of a minimum six (6) inch high and six (6) inch wide concrete curb.
 - ☒ Concrete mow strips, when used, shall be a minimum of four (4) inches in width.
 - ☒ Trees and shrubs shall be planted so that at maturity they do not interfere with utility lines and traffic safety sight areas.
 - ☒ Trees and shrubs shall be planted and maintained in a manner that protects the basic rights of adjacent property owners, particularly the right to solar access.
 - ☒ Trees planted within five (5) feet of sidewalks or curbs shall have an eighteen (18) inch by ten (10) foot long linear root barrier placed at each edge of the sidewalk or face of curb, centered on the tree.

- ☒ Plant materials. Plant materials shall be selected and installed in accordance with the following requirements:
 - ☒ The size of ten (10) percent of the trees to be planted shall be twenty-four (24) inch box or larger. The remaining trees shall be sized fifteen (15) gallons or larger.
 - ☒ The size of seventy (70) percent of plants and shrubs shall be at five (5) gallon or larger. The remaining plants and shrubs shall be sized one (1) gallon or larger.
 - ☒ The size of groundcover at planting shall be one (1) gallon or larger.
 - ☒ Groundcover shall be designed to have one hundred (100) percent coverage within two (2) years.
 - ☒ Drought tolerant plant material and climate appropriate species shall be emphasized in the design.
- ☒ That the landscaped area shall be planted with live and healthy plant materials suitable for screening and/or ornamenting the site. Landscaped areas shall be watered by automatic systems and designed and developed in accordance with Chapter 12.08 and the most recent State Model Water Efficient Landscape Ordinance.
- ☒ That all building setback areas and open space areas required which are visible from the public right-of-way shall be landscaped.

Trash Collection Areas: (Section 17.50.090)

- ☒ That suitable area shall be provided on-site for collection of trash and recyclable materials for all multifamily residential, mixed-use, commercial, office, and industrial uses. Refuse storage areas shall be adequately screened from view. The refuse area enclosure shall be designed to meet the minimum recommended dimensional standards as determined by the City Engineer.
- ☒ That all uses shall be in compliance with the provisions of Chapter 13.12 of the Municipal Code.

Outdoor Lighting Standards: (Section 17.50.140)

- ☒ That all lights and light fixtures, except public street lights, shall be located, aimed or shielded so as to minimize light trespassing across property boundaries or skyward.
- ☒ That no lights or light fixtures shall flash, revolve, blink or otherwise resemble a traffic control signal or operate in such a fashion to create a hazard for passing traffic.
- ☒ That building mounted lighting fixtures shall be attached only to the walls of the building. The top of a light fixture attached to a building wall shall not be higher than the top of the building parapet or the top of the roof eave, whichever is lower.
- ☒ That canopy ceiling light fixtures shall be recessed or the sides of the lens area shall be shielded in order to eliminate emission of horizontal light.

- ☒ That mercury vapor lamps shall be a fully shielded fixture with all light directed on-site.
- ☒ That freestanding light fixtures shall not exceed eighteen (18) feet in height measured from the top of a light fixture to the adjacent grade at the base of the support for that light fixture.

Dust Control:

- ☒ That the appropriate dust-control practices of the San Joaquin Valley Air Pollution Control District shall be implemented.
- ☒ That the any necessary permits be obtained through the San Joaquin Valley Air Pollution Control District.

BUILDING DIVISION
SPR0071-23 Modular Classrooms
2-16-24
302 Tenth St

Contact Building Official: Tom Webb (559) 585-2584
Concerning questions that you may have on the conditions listed below:

1. That building permits must be obtained from the City Building Division for each structure to include but not limited to: buildings, pools, fences, trash enclosures, signs and carports for any structural, plumbing, electrical or mechanical work being done.
2. That no building or structure shall be used or occupied, and no change in the existing occupancy classification of building or structure or portion thereof shall be made until the building official has approved the change and issued a Certificate of Occupancy.
3. That detailed dimensioned plans be provided to the Building Division for each structure prior to obtaining construction permits. Each structure will require a separate submittal and permit.
4. That each structure will require plans and calculations signed by an architect or engineer licensed to practice in the State of California. Submittal shall consist of as applicable:
 - 4.1 1 copy of the City of Hanford Permit Application form
 - 4.2 One electronic submittal unless noted, including:
 - 4.2.1 Grading Plan (Civil Drawings, for reference)
 - 4.2.2 Site Plan
 - 4.2.3 Architectural Drawings
 - 4.2.4 Structural Drawings
 - 4.2.5 Electrical Drawings
 - 4.2.6 Mechanical Drawings
 - 4.2.7 Plumbing Drawings
 - 4.2.8 Landscape Plan (for reference)
 - 4.2.9 Commissioning Plan per 2022 CEnC
 - 4.2.10 **Planning Dept. "Conditions of Approval" or "Resolution"**
printed on the drawings and part of the drawing submittal
 - 4.2.11 Sets shall be stamped and wet signed by an Architect or Engineer licensed in the State of California.

****** Each structure will be considered a separate submittal. Grading, Landscaping, Signage and all Fire permits are separate submittals as well and require separate applications and submittals as applicable. ******

- 4.3 One Electronic submittal of all documentation, unless noted, including:
 - 4.3.1 Architectural Specifications
 - 4.3.2 Structural Calculations
 - 4.3.3 Electrical Calculations, if not included on the drawings
 - 4.3.4 Mechanical Calculations, if not included on the drawings
 - 4.3.5 Plumbing Calculations, if not included on the drawings
 - 4.3.6 Energy Calculations, if not included on the drawings
 - 4.3.7 CalGreen Compliance **including C & D Recycle plan**
 - 4.3.8 **Compliance with the City of Hanford Landscape Ordinance**
 - 4.3.9 Sets shall be stamped and wet signed by an Architect or Engineer licensed in the State of California.
 - 4.3.10 **Landscape Calculations per Hanford City Ordinance**
 - 4.3.11 Foundation design per California requirements
5. That the site, as well as the buildings, shall be made accessible and usable by the disabled in accordance with the California Building Code, Chapter 11B.

6. That a school impact fee for each square foot of new building area be paid when building permits are issued.
7. That all special inspection reports be submitted to the Building Division prior to final inspection.
8. That all construction shall conform to **the Most Current Edition** (2022) of the California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Fire Code, California Energy Code and CalGreen
9. That Kings County Impact Fees shall apply at current rates.
10. That the tenant, lessee, and/or owner are responsible for compliance with the Americans with Disabilities Act. By federal law your facility must be made accessible to the highest degree possible.
11. That block walls and trash enclosures require separate submittals/permits through the Building Dept.



H A N F O R D

FIRE DEPARTMENT
NIKKIE CHAMBERLAND, FIRE MARSHAL



City Of Hanford Fire Department Plan Review

Approval of all projects does not exempt compliance with all applicable sections of the adopted Fire Codes and local city ordinances. All fire protection systems must be installed and operational prior to occupying the building. All permits shall be issued and paid for prior to scheduling any inspections with the fire department. Please contact the building department for the submittal process. To schedule inspection please contact the building department at 559-585-2580

The scope of work shall be clearly stated on all the plans submitted for permit. All deferred submittals shall be listed on the building plan page. All deferred submittals are required to be submitted within 30 days of building permit issuance.

The following are comments that are applicable and pertain to plans submitted: This project must comply with the latest applicable codes.

- Project shall meet the minimum fire flow requirements per Appendix B & C of the CFC 2022; Provide the fire flows within one year
- When a sprinkler system is required with more than 21 heads, the system shall be monitored by a central monitoring station. Fire alarm and fire detection systems required by chapter 9 of CFC, CBC, shall be installed per NFPA 72.
- Knox FDC Locking Caps are required on all Fire Department Connections. A fire department access road is required for facilities that are protected by fire sprinklers and are more than 400 feet away; on site fire hydrants and mains shall be provided where required by the AHJ. Provide a letter of certification from a licensed soil engineer on non-paved all-weather roads that provide fire access, which shall support a 40,000 lbs fire apparatus at a minimum.
- All dead-end access roads more than 150 must provide a approved turn around or hammer head and comply with city standards.
- All access roads shall not be less than 20 ft wide and 13 ft 6 inches
- Access road turning radius for fire apparatus/
 1. Inside turn: 20ft 10 inch
 2. Curb to Curb: 37 ft 3 inches
 3. Wall to Wal: 42 ft

- Temporary or permanent fire department access roads shall be constructed in accordance with City Standards ST-36. All weather access roads shall be in place prior to any combustible construction being brought onto the premises unless approved by the fire department.
- Additional Hydrants may be required, all hydrants shall be installed and accepted prior to combustibles being dropped on site. All hydrants shall be protected by bollards Hydrant spacing shall be as follows CFC 2022 appendix C;
 1. Residential area- 500ft
 2. Commercial area-300ft
 3. A hydrant will be required within 50' of Fire Department connection.
- Areas identified as “**Fire lanes**” must be Identified as such per requirements set forth in the California Vehicle Code Section 22500.1.
 1. **Access roads 20-26 feet in width:** Fire lanes shall be on both sides of the fire apparatus access roads.
 2. **Access roads 26 to less than 32 feet in width:** Fire lanes shall be on one side of the fire apparatus access roads.
 3. **Access roads 32 feet in width or more:** No fire lanes required.
 4. **Markings shall include “No Parking- Fire Lane”**
- Locked gates installed across fire department access roads:
 1. **Manual gates** with a chain lock require a **Knox Padlock** to be installed on them; or a **Knox Box** shall be installed on the exterior of the gate and a key to the lock on the gate must be placed in the Knox Box. (See www.knoxbox.com for current models)
 2. **Electric Gates** shall be equipped with an electric **Knox Key Switch**, at the gate location.
 3. In case of a loss of power, electrically operated gates shall have a means of back-up power or shall default in the open position for immediate fire department access.
 4. At no time shall the width of the fire department access road be reduced below **20-feet wide through or at any gates** along the fire departments' emergency access roads due to protruding objects from gate supports, frames, signs, access booths, curbs, etc.
 5. Provide a Knox Box for all structures and gates. In accordance with the 2019 CFC 506.1. Location shall be approved by Hanford Fire Department.
 6. The ordering of Knox Box products can be done directly at www.knoxbox.com. Click to choose your local fire department

agency, enter "Hanford Fire Dept", and a list of products will populate for you to order.

- All address numbers shall be installed onto the building and shall be visible from the frontage street. The color of the address numbers shall be in a contrasting color to the building.

Size of Address Numbers:

- | | |
|--|-----------------|
| 1. Downtown area (existing buildings): | 4 inch numbers |
| 2. Buildings 20-ft. or less from the street: | 6 inch numbers |
| 3. Buildings 21- to 40-ft. from the street: | 8 inch numbers |
| 4. Buildings more than 40-ft. from street: | 12 inch numbers |

- Operational Fire Permit is Required
- Fire Alarm shall be present and functioning



City of Hanford

Public Works Department

900 South 10th Ave. • Hanford, CA 93230-5234 • (559) 585-2550

Utilities Division Comments

PROJECT: SPR0071-23- 302 East Tenth Street-KCAO Clay Center

APN: 010-224-023

General:

1. That all work within the public street right-of-way shall be under the control of a General Engineering Contractor, licensed for that purpose. Contractor shall verify all conditions in the field prior to commencing construction.
2. That locations of existing water, sanitary sewer and storm drain mains in the vicinity of the project site will be marked by Public Works Department staff based upon the city's best available records. Contractor shall provide city with a minimum of 48 hours prior notice when requesting location of existing utilities at (559) 585-2564. Contractor to contact Underground Service Alert (U.S.A.) for City utility markings.
3. That all sewer and water utility work and materials shall conform to City of Hanford Standards and Specifications, latest edition.

Water:

1. That the developer shall provide an accurate fixture unit count and size water services in accordance with the requirements of the Uniform Plumbing Code, latest edition.
2. That the developer shall furnish and install any new water service assemblies required for the project including water meters and meter boxes for both domestic and landscape uses. If existing services are utilized, fixture counts to ensure adequate size of service is required. All new services are to connect to East Tenth Street.
3. That the developer shall furnish and install appropriate cross connection/backflow prevention assemblies for all required water services, including fire service lines. Fire service system, if required, shall be a looped system with two points of connection to the City water main or as directed by the City of Hanford Fire Department.
4. That all backflow prevention assemblies required for the development shall be tested and approved by a certified technician that has been approved by the City of Hanford prior to occupancy. Copies of all backflow test results shall be provided to the City of Hanford Utilities Division.
5. It is recommended that developer install a separate irrigation service to reduce the sewage usage bill. Sewage bills are calculated using domestic water flows.

Sewer:

1. That the property owner is responsible for maintenance of all sanitary sewer laterals providing service to their property from building structure to the City Sanitary Sewer main, including connection fittings.
2. That the developer shall size sewer service lateral to serve the project site in accordance with requirements of the Uniform Plumbing Code, latest edition. All new sanitary sewer laterals shall connect to the alley sewer main or to the Brown Street sewer main.
3. That the developer shall furnish and install a floor drain inside any newly constructed Trash Enclosure per City Standard Detail GE-41 that connects to the City's Sanitary Sewer System.

Bob Williams

3/29/2024

Utilities Manager

Date



City of Hanford

Public Works Department

900 South 10th Ave. • Hanford, CA 93230-5234 • (559) 585-2550

Engineering Division Comments

PROJECT: SPR0071-23- 302 East Tenth Street-KCAO Clay Center

APN: 010-224-023

General Requirements:

1. That the development shall comply with all applicable City of Hanford Standard and Specification requirements. Any deviation from said Standards and Specifications must be approved by the City Engineer prior to construction.
2. That an Encroachment Permit for all work located within the public street right-of-way shall be obtained from the Public Works Department prior to start of work. For additional information regarding Encroachment Permit requirements, contact the City Engineering Division at (559) 585-2558.
3. That the development is subject to a **\$4,200.00** Grading Plan Review fee in accordance with City Resolution No. 10-31-R, or any revisions thereof. Grading Plan Review fee shall be paid prior to issuance of building permits.
4. That the development is subject to Engineering Plan Review and Inspection fee based on the cost of improvements required to be constructed within the public street right-of-way, in accordance with City Resolution No. 92-58-R, or any revisions thereof. Subject fees shall be payable prior to approval of improvement plans.
5. That all financial and other arrangements for planning, engineering, scheduling, installation of and/or relocation of ungrounding of electric, gas, telecommunications, or other privately owned utilities are the sole responsibility of the developer. The developer is advised that significant project delays may result if utility issues are not resolved prior to start of construction.

Map and Plan Requirements:

1. That the developer shall submit to the City Engineer a set of construction plans on 24" X 36" size sheets for all required improvements. The plans shall be prepared by a licensed civil engineer, and shall include a site plan showing all on-site and off-site improvements, including but not limited to, sanitary sewer, storm drainage, and water system infrastructure, refuse enclosure locations, public street & parking lot improvements, landscape & irrigation systems and all other improvements as required by the project conditions of approval and the City of Hanford Standards and Specifications. Plans must be approved by the City of Hanford and any other affected agencies before issuance of building permits.
2. That prior to beginning any construction, or within twenty (20) calendar days after the approved plans are released by the City, the developer shall submit to the City of Hanford Engineering Division four (4) bond copies of the approved set of construction plans, and two (2) bound sets of the approved construction specifications, if any.
3. That within twenty (20) calendar days after all improvements have been constructed and accepted by the City, the developer shall submit to the City of Hanford Engineering Division one (1) reproducible and one (1) bond copy of the approved set of improvement construction plans revised to reflect all field revisions and marked "RECORD DRAWING".

Drainage Requirements:

1. That the developer shall comply with all applicable State of California requirements pursuant to the National Pollutant Discharge Elimination System (NPDES). If applicable to the project, a Notice of Intent for the development shall be electronically filed by the developer and accepted by the State Water Resource Control Board (SWRCB) prior to any disturbance of soils onsite. Documentation of SWRCB approval of the development shall be required by the City of Hanford prior to start of construction, and the developer shall comply with all SWRCB General Construction Permit requirements during construction. Contact the SWRCB at www.swrcb.ca.gov for further information.

Steve Coodey

3/29/2024

Assistant Engineer (559) 585-2582

Date



City of Hanford

Public Works Department

900 South 10th Ave. • Hanford, CA 93230-5234 • (559) 585-2550

PROJECT: SPR0071-23- 302 East Tenth Street-KCAO Clay Center

APN: 010-224-023

2. That track-out of soil, gravel, or other construction-related materials on to public streets is prohibited.
3. That a drainage/site improvement plan for development be prepared by a license civil engineer for review and approval by the Public Works Department prior to the issuance of building permits. All construction shall be certified by a civil engineer as being constructed to approved plan.
4. That site grading and drainage shall comply with the approved grading and improvement plans for the development. Upon completion of construction, the developer's engineer shall provide a written statement that site grading and drainage has been completed in accordance with approved plans.

Curb, Gutter, and Sidewalk Requirements:

1. That the existing concrete curbs, gutters, and sidewalks located along the East Tenth Street and North Brown Street project frontages may remain in place provided they are found to be in functional condition, adequately sloped for proper drainage and meet ADA requirements. Sections damaged during construction, or otherwise found to be in disrepair, shall be removed and replaced with new curb and gutter, and sidewalk installed per City Standard CO-11 and CO-15. The locations of any such curbs, gutters, and sidewalks required to be reconstructed shall be shown on the engineered site improvement plans.

Drive Approaches

1. That the developer remove existing drive approach on East Tenth Street and replace with drive approach per City Standard Detail CO-38 to a maximum width of 20' when measured between the bottom of each wing.

Street Requirements:

1. Traffic control within the City of Hanford right-of-way shall conform to the California Manual on Uniform Traffic Control (CA MUTCD) and shall be approved by the City of Hanford Public Works Dept. prior to scheduling work.
2. All underground piping shall be inspected prior to backfilling. All utility trench backfill and paving shall conform to City Standard Detail ST-8.

Refuse Enclosure Requirements:

1. That the developer construct a 10' x 20' inside clear dimension refuse enclosure in conformance with City Standard Detail GE-35, using the existing drive approach as shown on the approved application. The trash enclosure must be positioned so the enclosure doors do not swing into the city's right-of-way and will allow for refuse trucks to clear the roadway while servicing. The enclosure shall incorporate a drain connected to the City Sanitary Sewer system. Refer to Refuse Division Comments for additional information.

Alley Way Requirements:

1. That the developer remove a portion of the existing valley gutter and construct new valley gutter to comply with current ADA requirements. No portion of the new valley gutter shall slope more than 2% in any direction within the pedestrian path of travel. No portion of the asphalt leading to the valley gutter shall slope more than 5% with path of travel and have no greater than a 2% cross slope. If needed, a greater area within the alley may be required to be removed to achieve a smooth transition to existing valley gutter and alley roadway while maintaining adequate fall to the valley gutter. All necessary striping shall be installed for the walk path.

Steve Coodey

3/29/2024

Assistant Engineer (559) 585-2582

Date



City of Hanford

Public Works Department

900 South 10th Ave. • Hanford, CA 93230-5234 • (559) 585-2550

PROJECT: SPR0071-23- 302 East Tenth Street-KCAO Clay Center

APN: 010-224-023

Development Impact Fees:

1. That development is subject to the following impact fees in accordance with city ordinances no. 90-09, 90-10 and 98-14, or any revisions thereof. Impact fee calculations are based upon square footage of structures as shown on the site plan. If changes are made to structure thereby increasing or decreasing structure floor areas, then impact fees will likewise change to reflect actual field conditions. Fees listed below reflect FY 23/24 rates effective July 1, 2023. All fees are payable prior to issuance of building permits. **Existing building area to be removed- 3,410 sf (Proposed building area- Building 1- 3,468 sf, Building 2- 4,461 sf (Total- 7,929 sf) additional 4,519 sf- Site Area: 0.59 Acres). The following impact fees are adjusted for additional square footage and additional refuse bins only.**
 - A. That the development is **NOT** subject to a **Circulation Impact Fee** in accordance with City Resolution No. 98-56-R, or any revisions thereof. Fee based on \$23,214.05 (Restaurant-No Drive-thru) X 1.537
 - B. That the development is subject to a **\$3,439.86** **Water System Impact Fee** in accordance with City Resolution No. 98-54-R, or any revision thereof.
 - C. That the development is subject to a **\$2,292.49** **Wastewater System Impact Fee** in accordance with City Resolution No 98-55-R, or any revision thereof.
 - D. That the development is **NOT** subject to a **Storm Water System Impact Fee** in accordance with City Resolution No. 98-57-R, or any revision thereof.
 - E. That the development is **NOT** subject to a **Fire Protection Impact Fee** in accordance with City Resolution No. 98-52-R, or any revision thereof. Fee based on additional 365 sf.
 - F. That the development is **NOT** subject to a **Police Protection Impact Fee** in accordance with city Resolution No. 98-53-R, or any revision thereof. Fee based on additional 365 sf.
 - G. That the development is subject to a **\$1,966.64** **Refuse and Recycling Impact Fee** in accordance with City Resolution No 98-56-R, or any revision thereof. Fee is based on 2 additional one (1) Cubic Yard containers.
 - H. That the development is **NOT** subject to a Park Impact Fee in accordance with City Resolution No 05-64-R, or any revision thereof.

Steve Coodey

3/29/2024

Assistant Engineer (559) 585-2582

Date



City of Hanford

Public Works Department

900 South 10th Ave. • Hanford, CA 93230-5234 • (559) 585-2550

Refuse Division Comments

PROJECT: SPR0071-23- 302 East Tenth Street-KCAO Clay Center

APN: 010-224-023

General Requirements:

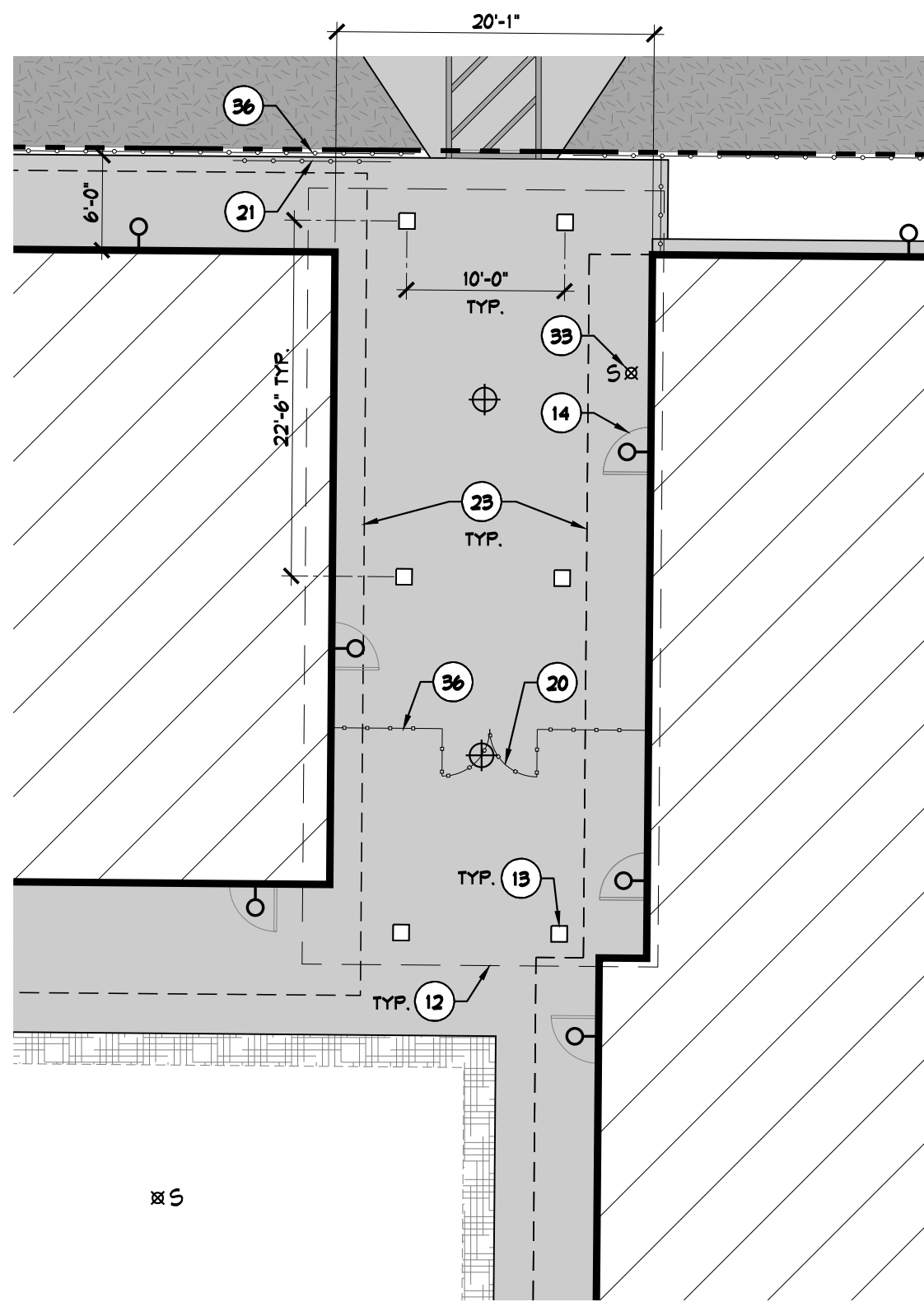
1. That a minimum 10' X 20' inside clear dimension masonry block refuse enclosure with 6' high perimeter walls shall be constructed in accordance with City Std. GE-41, modified to include installation of 12" X 12" interior concrete curbs and 10' concrete apron. If enclosure will be used to service restaurants then a separate grease bin container area shall be constructed and hot/cold water hose bibs shall be installed in accordance with City Standard GE-41. The refuse enclosure shall have gates of chain-link fencing with earth-tone color vinyl slats or other approved gate material. The enclosure shall be architecturally compatible with surrounding buildings, and the location of the enclosure shall be approved by both the Public Works and Community Development Departments.
2. That nothing other than the city refuse bins shall be stored or kept in refuse enclosures.
3. That refuse enclosure gates shall be securely closed except when in use.
4. That refuse enclosures shall not be located adjacent to combustible construction or beneath windows or non-protected eaves.
5. That all on site vehicle routes used to service trash enclosure shall be constructed in accordance with City Standard GE-32 Industrial Parking Lot pavement requirements to provide an adequate pavement structure section for refuse truck use.
6. That the applicant shall participate in all available waste recycling & reuse programs **including the new requirement for food waste separate bin service (if applicable).**

Nick Mechem

3/29/2024

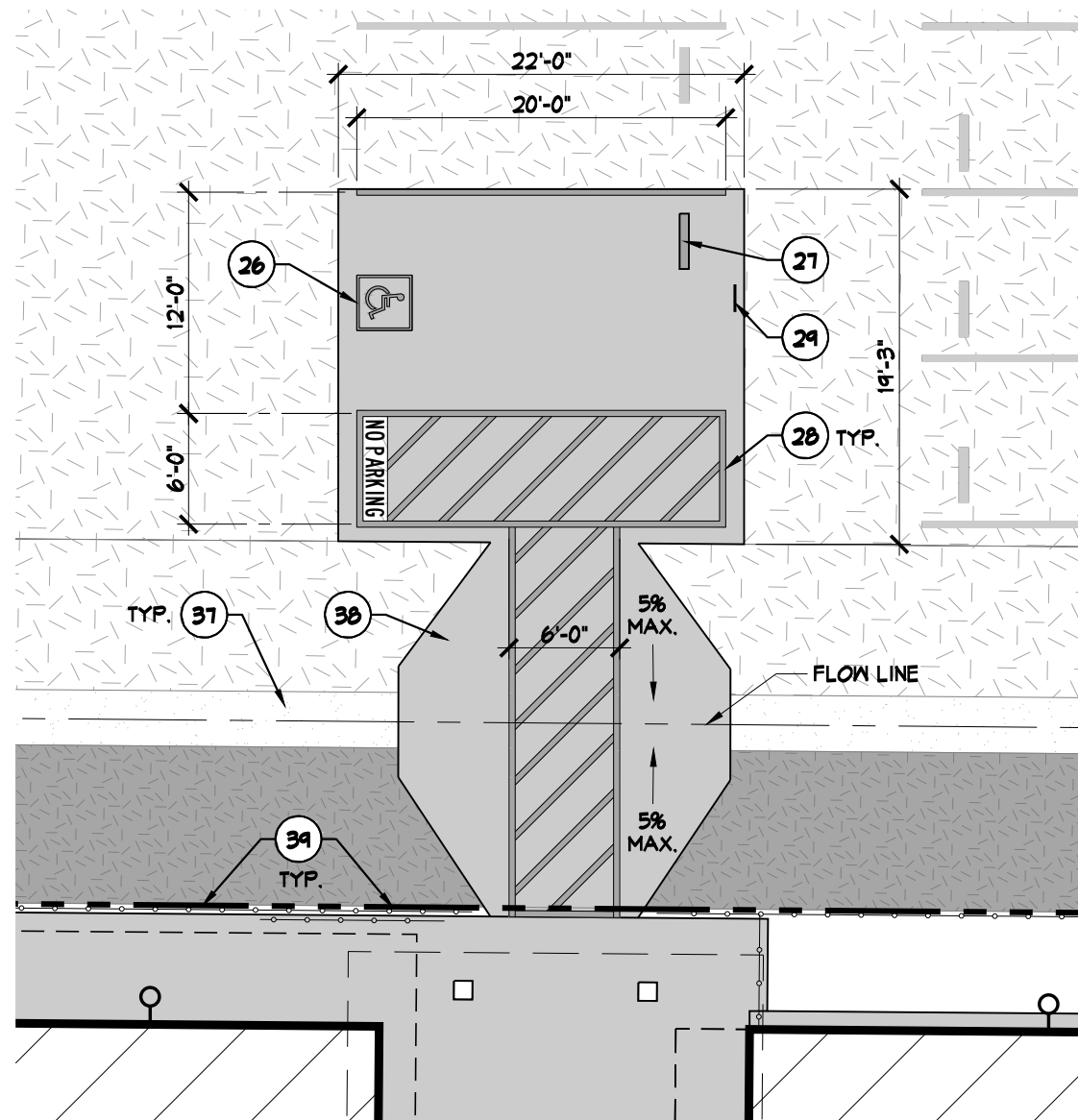
Refuse Supervisor (559) 585-7992

Date



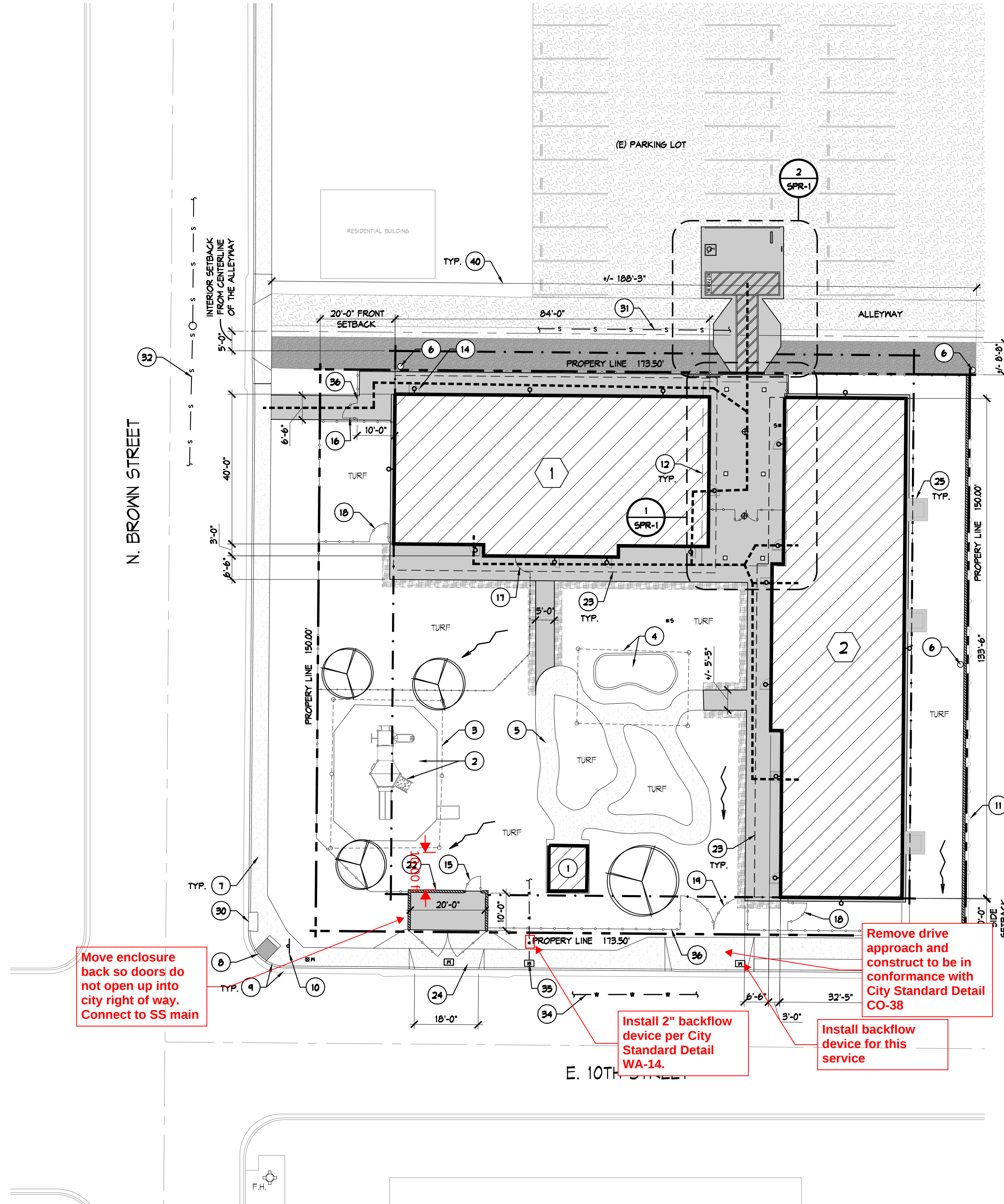
ENLARGED SITE PLAN

SCALE : 1" = 10'



ENLARGED SITE PLAN

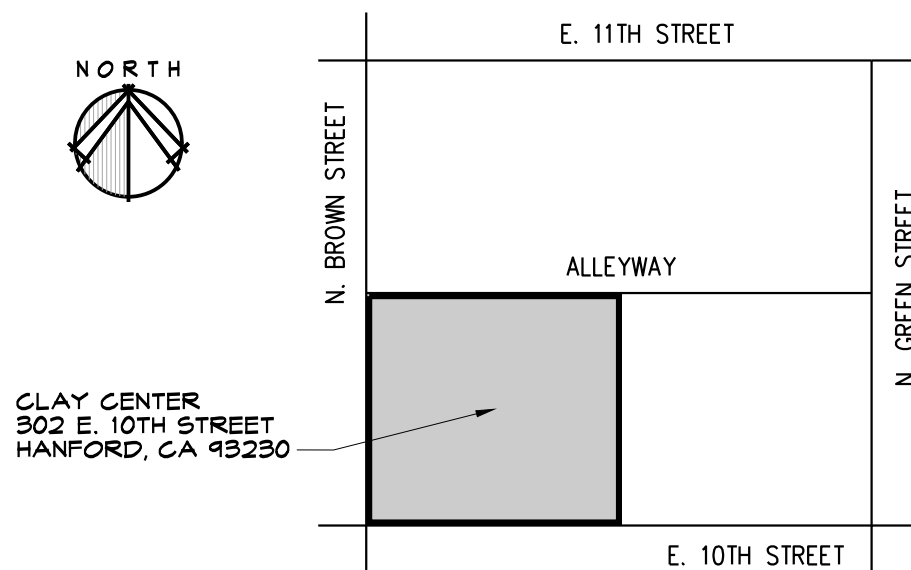
SCALE : 1" = 10'



PROPOSED SITE IMPROVEMENT PLAN

SCALE : 1" = 20'

VICINITY MAP



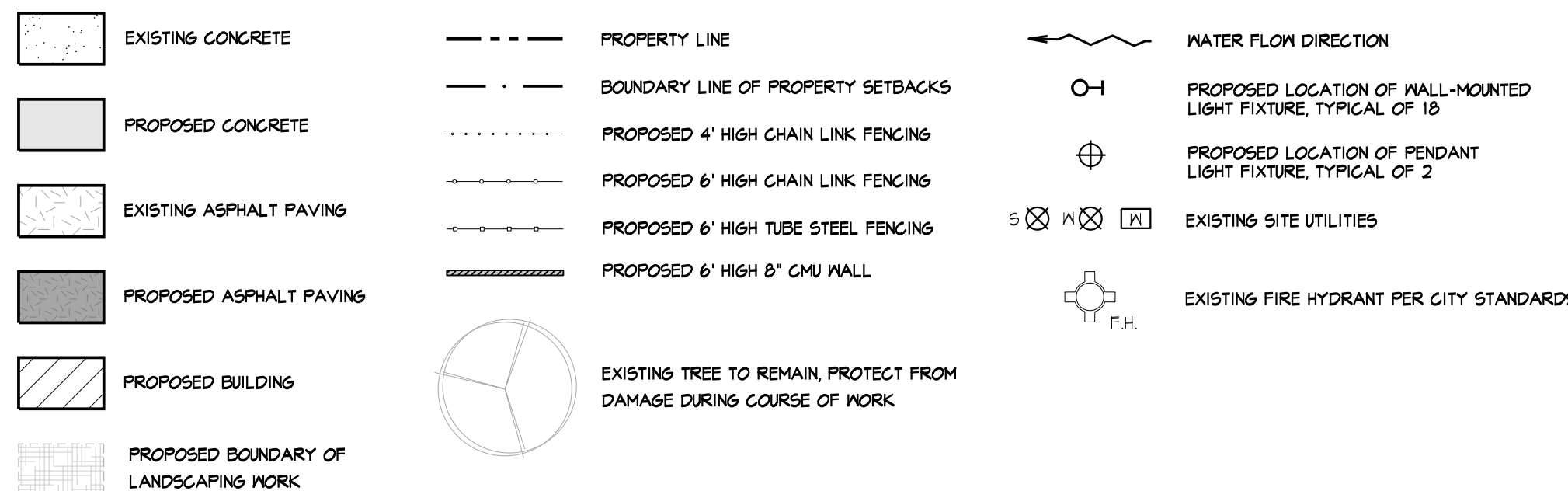
ACCESSIBLE PATH OF TRAVEL

PATH OF TRAVEL (P.O.T.)

ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLANS IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELED AT 12 MAXIMUM SLOPE OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAXIMUM AND AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM AND SLIP RESISTANT. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL ABOVE 27" AND LESS THAN 80". ARCHITECT SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.

DURING CONSTRUCTION, IF P.O.T. ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NONCONFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT.

LEGEND



PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF THE PLACEMENT OF TWO PROPOSED MODULAR BUILDINGS FOR FOUR PRESCHOOL CLASSROOMS AND OFFICE SPACE. THE EXISTING OUTDOOR PLAYGROUND AND PLAY STRUCTURE ARE TO REMAIN. THE PROJECT IS TO INCLUDE ONE NEW VAN ACCESSIBLE PARKING STALL ON THE EXISTING OFF-SITE PARKING LOT, AS WELL AS IMPROVEMENTS TO THE EXISTING ALLEYWAY BETWEEN THE PROPERTY AND THE PARKING LOT.

PROJECT INFORMATION

OWNER: KINGS COMMUNITY ACTION ORGANIZATION
1130 N. 11TH AVENUE, HANFORD, CA 93230
CONTACT: JEFF GARNER
PHONE: (559) 415-1202 EMAIL: jgarnerskcaoo.org

PROJECT ADDRESS: 302 E. 10TH STREET, HANFORD, CA 93230

ARCHITECT: DOUGLAS K. JANZEN
1736 S. CENTRAL STREET, SUITE A, VISALIA, CA 93271
CONTACT: DOUGLAS K. JANZEN
PHONE: (559) 738-0309 EMAIL: doug@dkjarchitects.com

APN #: 010-224-023-000

BUILDING SQUARE FOOTAGE: BUILDING 1 - 3,468 S.F.
BUILDING 2 - 4,461 S.F.

PROPERTY AREA: 0.54 ACRES

OCCUPANCY: E 4 B

ZONING: MEDIUM DENSITY RESIDENTIAL

APPLICABLE CODES: 2022 CBC

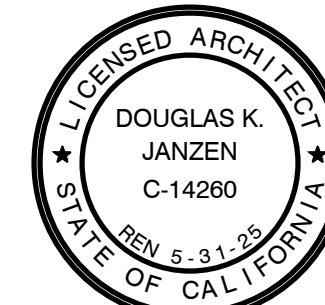
AUTHORITY HAVING JURISDICTION: CITY OF HANFORD

KEYNOTES

- (E) TOY STORAGE SHED
- (E) PLAYGROUND EQUIPMENT W/ FALL SAFE MATERIAL
- OUTLINE OF (E) CANOPY SHADE STRUCTURE
- OUTLINE OF (E) CANOPY SHADE STRUCTURE AND SANDPIT
- (E) CONCRETE TRICYCLE PATH
- (E) POWER POLE TO REMAIN, PROTECT IT AND WIRES FROM DAMAGE, TYP. OF 3
- (E) CITY SIDEWALK TO REMAIN
- (E) CURB RAMP AT CORNER W/ TRUNCATED DOMES PER CITY STANDARDS
- (E) CURB AND GUTTER PER CITY STANDARDS
- (E) YIELD STREET SIGN
- (E) WOODEN RESIDENTIAL FENCE AT ADJACENT PROPERTY (SHOWN OFFSET FOR CLARITY)
- (N) ROOF OVERHANGS OF PROPOSED SHADE STRUCTURE, SEE SHEET SPR-2
- (N) 12"x12" PAINTED STEEL COLUMNS OF PROPOSED SHADE STRUCTURE, TYP. OF 6
- (N) EMERGENCY EXIT, ONLY OPERABLE FROM INTERIOR SIDE, TYP. OF 2
- (N) 6' HIGH x 4' WIDE CHAIN LINK MAINTENANCE GATE
- (N) 6' HIGH x 4' WIDE ACCESSIBLE CHAIN LINK GATE
- (N) 4' HIGH x 4' WIDE ACCESSIBLE CHAIN LINK GATE
- (N) 6' HIGH x 5' WIDE CHAIN LINK MAINTENANCE GATE
- (N) 6' HIGH x 18' WIDE DBL. LEAF CHAIN LINK MAINTENANCE GATE
- (N) 6' HIGH x 6' WIDE ACCESSIBLE TUBE STEEL DBL. LEAF SECURITY GATE TO BE SECURED OUTSIDE DROP-OFF/PICK-UP HOURS
- (N) 6' HIGH x 10' WIDE ROLLING CHAIN LINK GATE
- (N) 6' HIGH CMU BLOCK TRASH ENCLOSURE PER CITY STANDARDS
- OUTLINE OF (N) ROOF OVERHANGS OF BUILDING
- (E) DRIVE APPROACH PER CITY STANDARDS
- (N) CONDENSER ON (N) 6'x6' MECHANICAL CONCRETE PAD, TYP. OF 3
- (N) VAN ACCESSIBLE PARKING STALL W/ I.S.A. SYMBOL
- (N) CONCRETE WHEELSTOP
- (N) 4" WIDE DIAGONAL STRIPING
- (N) ADA PARKING SIGN ON POLE
- (E) STORM DRAIN
- (E) 6" CITY SEWER MAIN LINE
- (E) 18" CITY SEWER MAIN LINE
- (N) PROPOSED 4" SEWER CONNECTION FROM (E) SEWER CLEANOUT
- (E) 8" CITY WATER MAIN LINE
- (N) PROPOSED POINT OF CONNECTION 2" WATER LINE TO CONNECT TO BUILDINGS
- (N) KNOX BOX AT GATE, TYP. OF 3
- (E) CONCRETE V GUTTER ALONG ALLEYWAY
- (N) CONCRETE V GUTTER
- (N) RED PAINT AT CURB ALONG EDGE OF ALLEYWAY
- DIMENSIONS NOTED W/ V- ARE TO BE COORDINATED WITH SCOPE OF WORK AND FIELD VERIFIED, TYP.



1736 S. Central Street, Suite A
Visalia, CA 93277
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DRAWN BY: BM
DATE: 1/24/2024
REVISED:

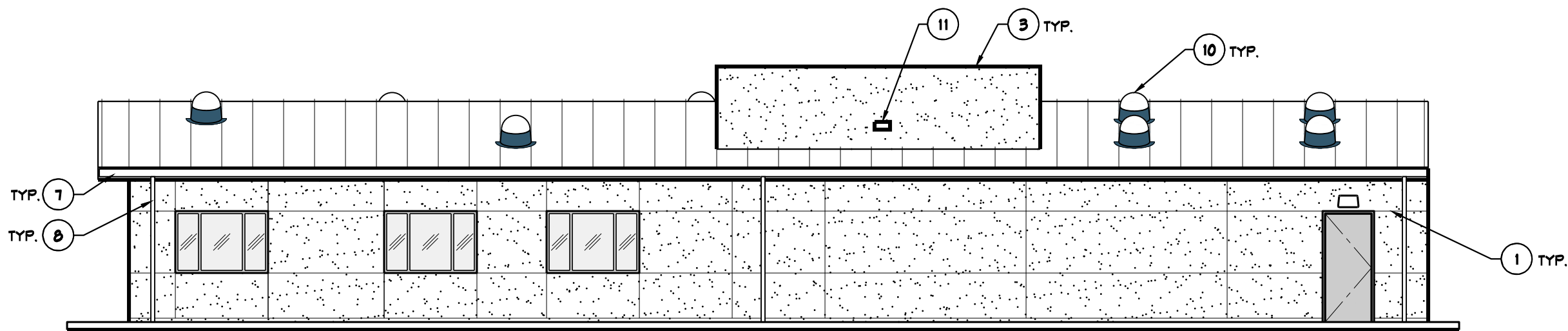
PRESCHOOL CLASSROOMS
CLAY CENTER

PROJECT NUMBER: 202226.10
DRAWING TITLE

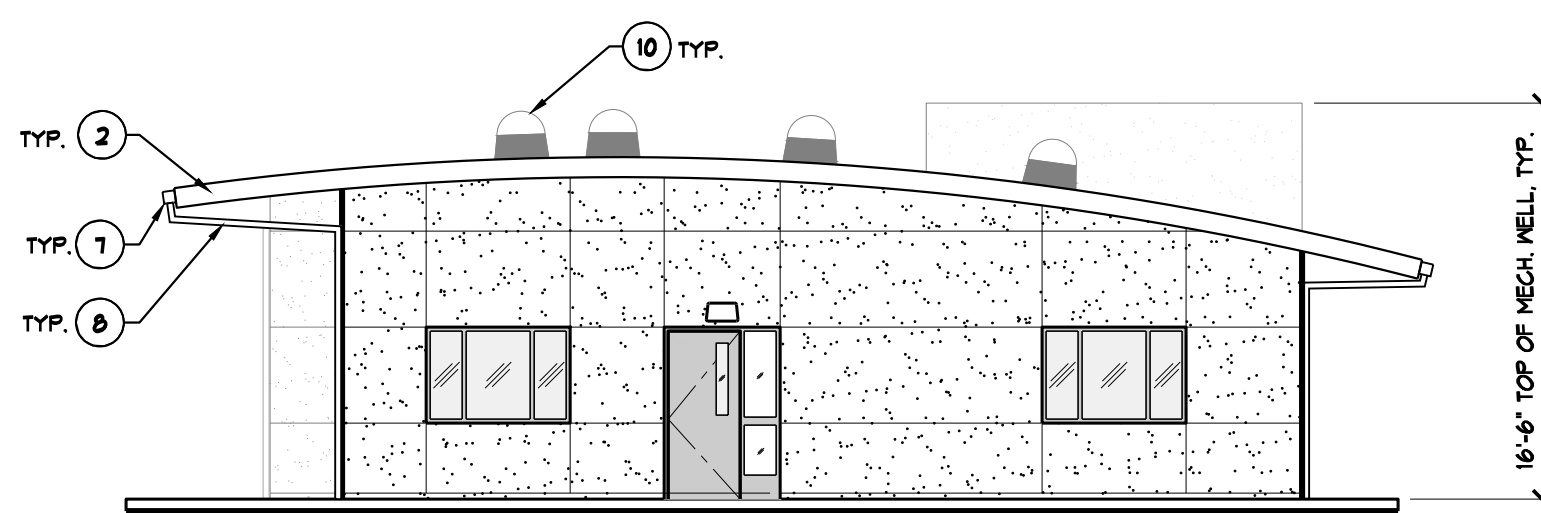
PROPOSED SITE PLAN

DRAWING NUMBER

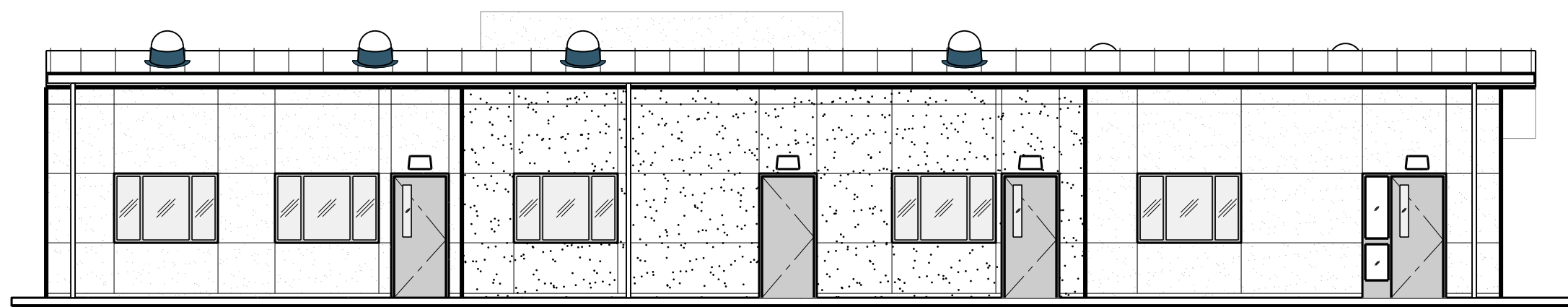
SPR-1



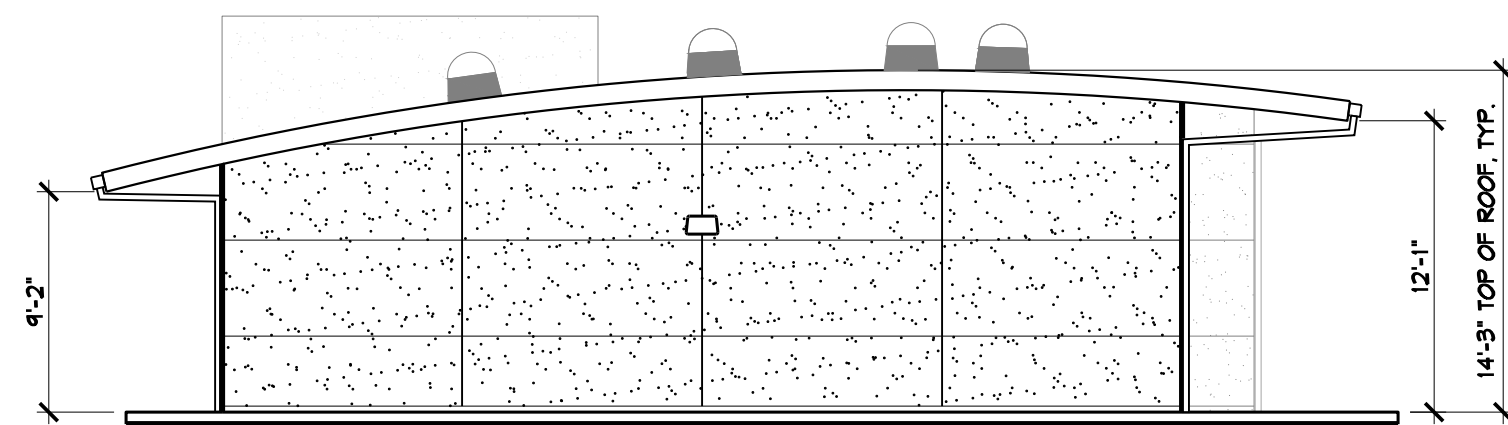
BUILDING 1 NORTH ELEVATION



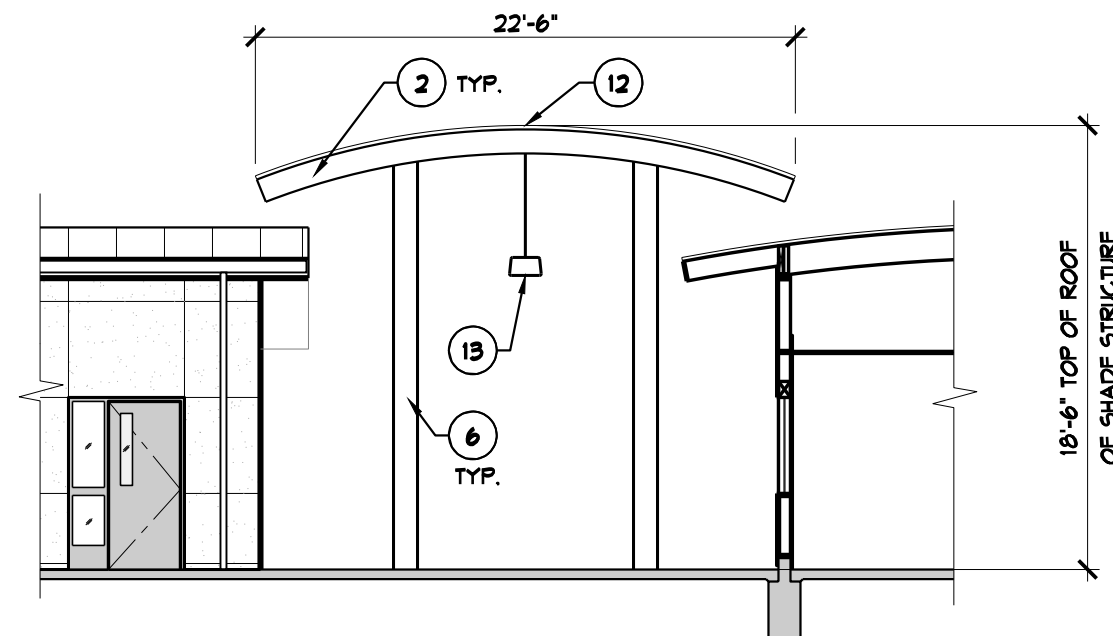
BUILDING 1 EAST ELEVATION



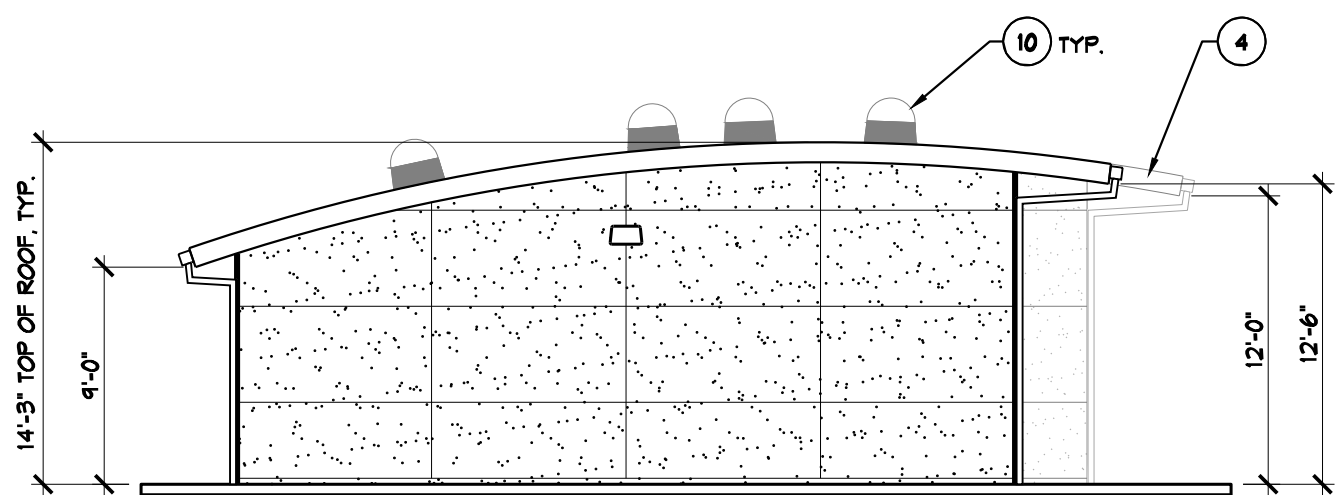
BUILDING 1 SOUTH ELEVATION



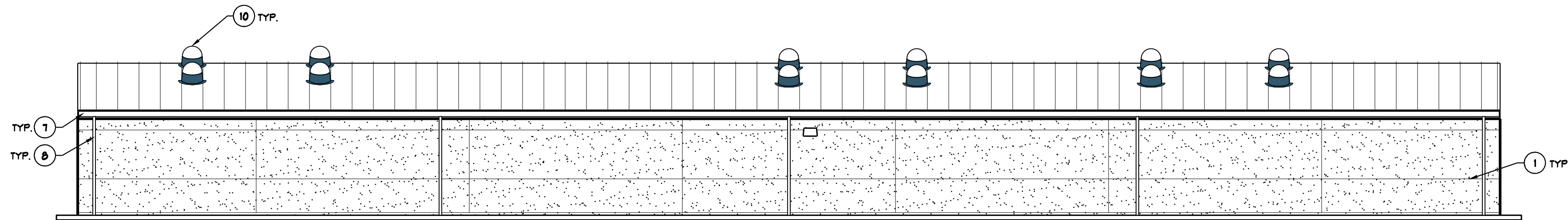
BUILDING 1 WEST ELEVATION



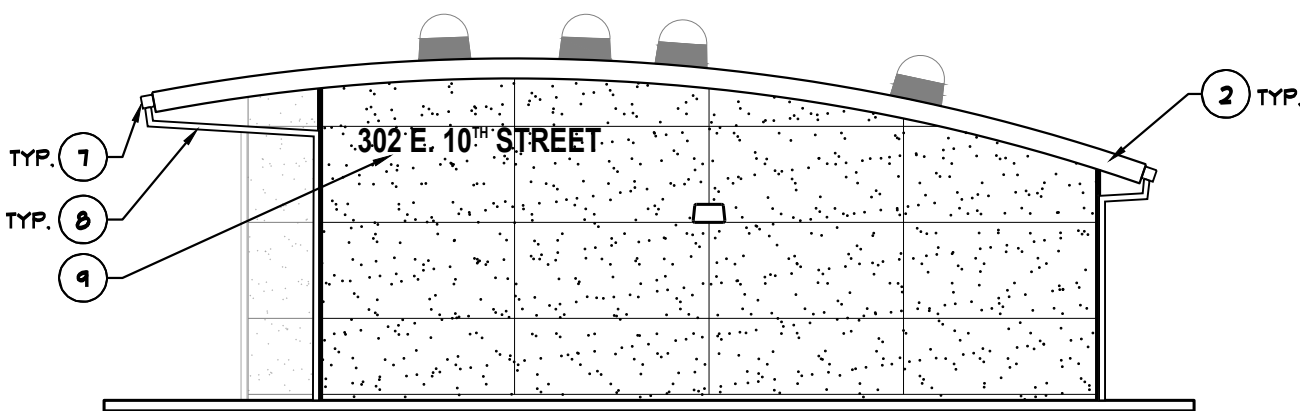
SHADE STRUCTURE SOUTH ELEVATION



BUILDING 2 NORTH ELEVATION

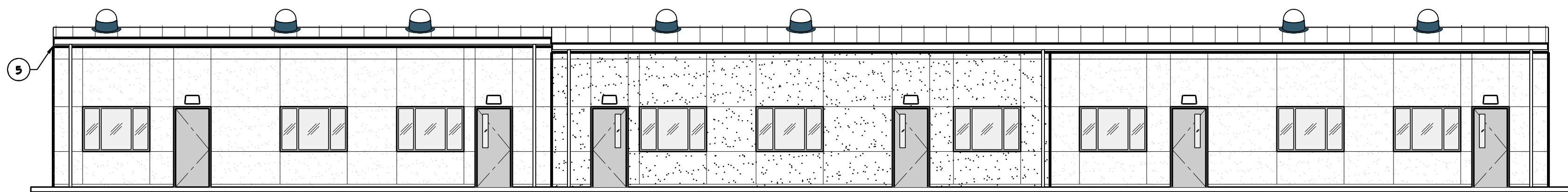


BUILDING 2 EAST ELEVATION



BUILDING 2 SOUTH ELEVATION
EXTERIOR ELEVATIONS

SCALE : 1/8" = 1'-0"



BUILDING 2 WEST ELEVATION

KEYNOTES

- 1 PLASTER SCREEDS
- 2 FASCIA
- 9 MECHANICAL WELL
- 4 T' ROOF OVERHANG BEYOND
- 5 FASCIA OF 4' ROOF OVERHANGS
- 6 12"x12" STEEL COLUMN
- 7 RAIN GUTTER
- 8 DOWNSPOUT
- 9 PROPERTY ADDRESS IN 12" HIGH CONTRASTING LETTERING
- 10 SOLATUBE AT ROOF, TYP.
- 11 SCUPPER AT MECHANICAL WELL WALL
- 12 CURVED METAL ROOF OF SHADE STRUCTURE TO MATCH ADJACENT BUILDINGS, EXPOSED BEAMS UNDERNEATH
- 13 EXTERIOR PENDANT LIGHT FIXTURE

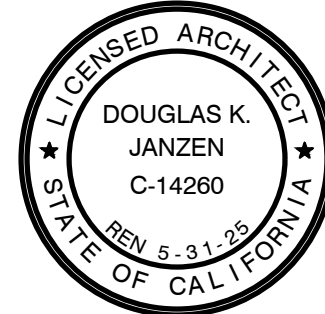
LEGEND

- CEMENT PLASTER
- STANDING SEAM METAL ROOFING
- EXTERIOR LIGHT FIXTURE

NOTES



1736 S. Central Street, Suite A
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DRAWN BY: BM
DATE: 1/16/2024
REVISED:

PRESCHOOL CLASSROOMS
CLAY CENTER

PROJECT NUMBER: 202226.10
DRAWING TITLE

EXTERIOR ELEVATIONS

DRAWING NUMBER

SPR-2

RECORDING REQUESTED BY
AND WHEN RECORDED
RETURN TO:

Mario U. Zamora
Griswold, LaSalle, Cobb,
Dowd & Gin, L.L.P
111 East Seventh Street
Hanford, CA 93230

APN: 010-224-023-000 and 010-224-022-000

SPACE ABOVE THIS LINE IS FOR RECORDER'S USE

RECIPROCAL USE AND MAINTENANCE AGREEMENT

WHEREAS, Pentecostal Church of God, Central California District, Inc. (hereafter referred to as "Church") is the owner of two parcels of real property located in Hanford, California (hereafter referred to as "Parcel 1" and "Parcel 2") more particularly described in Exhibit 1 and Exhibit 2, respectively, which are attached hereto and made a part thereof by reference; and

WHEREAS, Kings Community Action Organization (hereafter referred to as "KCAO") desires to purchase Parcel 2, but requires the use of the parking facilities located on Parcel 1 to satisfy the requirements of Hanford Municipal Code Chapter 17.54; and

WHEREAS, the City of Hanford allows for joint use of a single parking facility by two businesses pursuant to Hanford Municipal Code Section 17.54.060 if the applicant can demonstrate certain provisions;

NOW, THEREFORE, the parties hereby agree to the following and execute this Reciprocal Use and Maintenance Agreement (hereafter referred to as "Agreement"):

1. Parcel 1 contains a parking lot consisting of 57 parking spaces which satisfies the required number of spaces for the Church and KCAO individually and the parties desire to allow the use of the parking lot by both the Church and KCAO; and
2. Parcel 2 is within two hundred feet of the parking lot located on Parcel 1 and no more than seventy-five percent (75%) of the parking facilities required by Hanford Municipal Code Chapter 17.54 for a primarily daytime use will be provided by the parking facilities of a primarily nighttime use and alternatively, no more than seventy-five percent (75%) of the parking facilities required by this chapter for a primarily nighttime use may be provided by the parking facilities of a primarily daytime use; and
3. There is no substantial conflict in the principal operating hours of the Church and KCAO for which the joint use of the parking facilities located on Parcel 1; and

4. The Church's primary use of the parking facilities occurs on Sundays between 09:00 a.m. and 12:00 p.m. and KCAO's primary use of the parking facilities occurs Monday through Friday between 7:00 a.m. and 05:30 p.m.; and
5. These primary uses do not conflict with each other so that the use of the parking facilities by one party does not interfere with the use of the parking facilities by the other;
6. The parties agree to enter in this Reciprocal Use and Maintenance Agreement (hereafter referred to as "Agreement") to comply with Hanford Municipal Code Section 17.54.060(D); and
7. The parties agree that this Agreement shall be recorded and that the Agreement shall constitute a covenant that shall run with Parcel 1 and Parcel 2 and shall be binding upon future owners, tenants, and holders of any interest of Parcel 1, Parcel 2, or any portion thereof.
8. The parties shall maintain the required parking spaces upon the property where the parking spaces are located so long as the City of Hanford requires such parking spaces for the building, structure or improvement.
9. The parking facility located on Parcel 1 shall be used only by persons partaking in activities located at Parcel 1 and Parcel 2 and for no other purpose without the express prior written consent of the City of Hanford.
10. This Agreement shall remain in force commencing with the date hereof, until terminated, rescinded or amended as provided herein.
11. The terms of this Agreement may be amended, terminated or rescinded in part or in full, as to Parcel 1 or Parcel 2, by a written agreement among or between City of Hanford, Church, KCAO, and/or the then owner or owners of Parcel 1 or Parcel 2 as to which the Agreement is amended, terminated or rescinded. The consent of no other person shall be required for such amendment, termination or rescission of this Agreement or for the amendment, relocation, termination or abandonment of such access.

Pentecostal Church of God, Central
California District, Inc.:

Kings Community Action Organization:

Dated: August 31, 2021

Dated: August 20, 2021


Signature


Signature

Print Name: Chad Buttrey,
on behalf of Pentecostal Church of
God, Central California District, Inc.

Print Name: Jeff Garner,
on behalf of Kings Community Action
Organization

CITY OF HANFORD

Application for: **CONDITIONAL USE PERMIT NO.** _____

City of Hanford
Community Development Department
317 North Douty Street
Hanford, CA 93230
Telephone: (559) 585-2580; Fax (559) 583-1633

Application Fees: _____
Environmental Review Fee: _____
Other Fees: _____
Total Fees: _____
Env. Rev. No. _____ File No. _____
Receipt No. _____

The purpose of this review is to determine if the proposed development conforms to the provisions of the Zoning Ordinance. Only the owner or owner's agent may submit an application. When filing is done by mail, the signature must be notarized. The following information is necessary. Incomplete applications will not be accepted or acted upon. Please follow these directions and PRINT OR TYPE all information. Instructions for drawing a Plot Plan are on the reverse side. If the information requested is not applicable, write NA in the space provided. Feel free to use attachments to better illustrate or explain the project.

PART A: GENERAL INFORMATION

OWNER	APPLICANT	ENGINEER/DESIGNER
NAME Jeff Garner on behalf of : Kings Community Action Organization	Douglas K. Janzen	Douglas K. Janzen (DKJ Architects, Inc.)
ADDRESS Owner: 1130 N. 11th Avenue		
CITY Hanford		
PHONE Owner: (559) 415-7202	Applicant: (559) 738-0309	
EMAIL Owner: jgarner@kcao.org	Applicant: doug@dkjarchitects.com	(CC brenna@dkjarchitects.com)
PROJECT ADDRESS/LOCATION: 302 E. 10th Street, Hanford, CA	A.P.N.: 010-224-023-000	
DESCRIPTION OF PROPOSAL: Request a conditional use permit to operate four preschool classrooms and an office for staff.		

TYPE OF BUSINESS: Early Childhood Education	BUSINESS NAME: KCAO Clay Center	
SITE AREA: 0.59 acres	NO. OF EMPLOYEES: 15	NO. OF ON-SITE PARKING SPACES: 17 spaces (15 staff, 2 drop-off)
SQ. FT. OF STRUCTURES: 7,929 s.f.	SQ. FT. OF LARGEST STRUCTURE: 4,461 s.f.	No on-site parking; minimum of 17 spaces (15 staff, 2 drop-off) located at the existing parking lot at 323 E. Eleventh St. (APN 010-224-022) per recorded Reciprocal Use and Maintenance Agreement
WILL YOU SERVE FOOD? School Meals	WILL THERE BE A BURGLAR ALARM? Yes	

PART B: PLOT PLAN

1. INSTRUCTIONS FOR DRAWING A PLOT PLAN

- Draw the plot plan on a paper that is a minimum of 8 ½ x 11 inches and a maximum of 24 x 37 inches. Make the scale large enough to show all details clearly. Submit twelve (12) copies with the application. In some cases, additional copies will be necessary. The following information is required on the plot plan:

- b. Address of the subject property and the assessor's parcel number.
 - c. Date, North Arrow, and scale of the drawing.
 - d. Dimensions of the exterior boundaries of the site.
 - e. Name all adjacent streets, roads, or alleys, showing right-of-way and dedication widths, reservation widths, and all types of improvements existing or proposed.
 - f. Locate and give dimensions of all existing and proposed structures on the property. Indicate the height and depth of the buildings and their distance to property lines.
 - g. Show internal circulation and loading space. Detail off-street parking, exits and entrances, complete with dimensions and number of parking spaces.
 - h. Show all fences, walls, and landscaping; their locations, heights, materials, and/or type.
 - i. Show all signs; their location, size, height, and material used.
 - j. Show location of existing and proposed water and sewer line.
 - k. Indicate method of storm water drainage.
 - l. Note any proposed method of fire protection.
 - m. The applicant should include any additional information that may be pertinent or helpful concerning this application.
 - n. Other data as required to permit the Community Development Department to make the required findings.
2. One legible, original copy of the Plot Plan reduced to 8 1/2" x 11".

PART C: PUBLIC HEARING REQUIREMENT

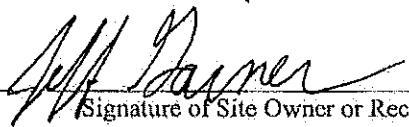
The following must be provided:

1. An accurate, scaled drawing of the surrounding area for a minimum distance of three hundred feet (300') from each boundary of the site showing locations of existing streets, property lines.
2. Mailing labels with the names and last known addresses of the recorded legal owners of all properties within the 300-foot distance from the exterior boundary of the site.

PART D: CERTIFICATION

PROPERTY OWNER(S)

I am (We are) the owner(s) of the land described hereinabove and shown on the accompanying map and hereby consent to the Conditional Use Permit request for this land.

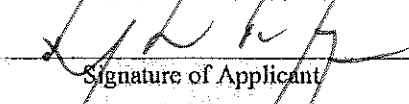


 Signature of Site Owner or Record

Name (Print) Jeff Garner

APPLICANT

I declare under penalty of perjury that the foregoing is true and correct. Executed on FEB 14, 2024 at VISALIA, California.



 Signature of Applicant

Name (Print) Douglas K. Janzen

KCAO Clay Center

OPERATIONAL STATEMENT

Kings Community Action Organization (KCAO) CLAY Center, 302 E. 10th St., Hanford, Ca., currently provides services to 16 Head Start eligible children 3-5 years old in a center-based program. We prioritize the enrollment of the most vulnerable families with the greatest need due to special challenges, such as poverty, disabilities, homelessness, involvement with child welfare system, or substance abuse misuse.

This facility is utilized to prepare children for school. KCAO's approach to school readiness includes using an evidence-based curriculum and supporting children through an ongoing assessment process that recognizes that every child is on their own developmental path. The program uses tools to assess and support quality teacher child interactions and learning environments to ensure quality environments.

Breakfast, lunch and snacks are provided daily. The classrooms have a napping area as well as child-size toilets and sinks. Highly individualized family services, coupled with the implementation of the parenting curriculum, supports families in being their child's first and most important teacher and advocate.

Monthly staff meetings and parent meetings are held as an opportunity for training, families to learn about community resources, advocating for their child, parenting, and connecting with other parents and family members. Special Services are also provided for children based on the needs of children and families.

KCAO Head Start is in the planning stages of removing the current modulars due to the age and condition of the buildings creating a health and safety risk for the children, staff, and families. We are proposing to add two new modular buildings. The hours of operation will be 7:00 am – 6:00 pm, Monday through Friday. The three pre-school classrooms will operate August – June and one infant/toddler classroom will operate for 12 months. The pre-school classrooms will serve 17 children in each classroom and the infant toddler classroom will serve up to 16 infants/toddlers, serving 59 children.

The center will also include a main office, staff break room, resource room, two staff restrooms, a large playground, and a small, separate playground for the infants/toddlers.

Each classroom will have two children's restrooms, storage space, and sinks for handwashing. Currently we have 5 staff working Monday – Friday 7:30 – 4:45pm with a monthly staff and parent meeting conducted 5-7pm. The proposed plan will have about 15 staff.

Notice of Exemption 2023-103

To: ☐ Office of Planning and Research
P.O. Box 3044, Room 212
Sacramento, CA 95812-3044

☒ County Clerk
County of Kings
Kings County Government Center
Hanford, CA 93230

From: City of Hanford
317 North Douty Street
Hanford, CA 93230

Project Title: Conditional Use Permit 0029-24

Project Location – 302 E. Tenth St. (APN 010-224-023)

Project Location – City: Hanford **Project Location – County:** Kings County

Description of Nature, Purpose and Beneficiaries of Project: Conditional Use Permit No. 0029-24: a request by the Kings Community Action Organization (KCAO) to amend their original conditional use permit in order increase the number of classrooms, staff, and children on site at the Clay Center in the R-M Medium Density Residential zone district.

Name of Public Agency Approving Project: City of Hanford, Planning Division

Name of Person or Agency Carrying Out Project: DKJ Architects
Address: 1736 S. Central St., Suite A, Visalia, CA 93277
Phone Number: (559) 738-0309

Exempt Status: **(check one)**

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
☐ Declared Emergency (Sec. 21080(b)(3); 15269 (a));
☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
☒ Categorical Exemption: State type and section number: 15332 In-Fill Development Projects
☐ Statutory Exemption. State code number:

Reasons why project is exempt:

The City of Hanford determined the project to be exempt from environmental review pursuant to Section 15332 of the California Environmental Quality Act (CEQA) Guidelines. The project meets the following conditions stated in Section 15332: the project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations; the proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; the project site has no value as habitat for endangered, rare or threatened species; approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and the site can be adequately served by all required utilities and public services.

Lead Agency

Contact Person: Mark Manha Area Code/ Telephone: (559) 585-2583

Signature: _____ Date: April 9, 2024 Title: Associate Planner

☒ Signed by Lead Agency Date received for filing at OPR: _____
☐ Signed by Applicant

