



Planning Commission Meeting Agenda

October 24, 2023
5:30 PM – Regular Meeting
Council Chambers
400 N. Douty St.

Planning Commissioners will meet in-person in the Council Chambers. The meeting will also be live streamed on the City's website: <http://livestream.hanford.city/>

ROLL CALL:

INVOCATION:

FLAG SALUTE:

PUBLIC COMMENT:

This is the time for citizens to comment on subject matters not on the agenda and that are within the jurisdiction of the Commission. This is also the public's opportunity to request an item from the Consent Calendar be pulled for discussion purposes or to comment on any item on the agenda. Comments related to Public Hearing items will be heard at the time the item is discussed. A maximum of three minutes is allowed for each speaker. Please begin your comments by stating your name and providing your city of residence.

CONSENT CALENDAR:

Consent Calendar items are considered routine and will be enacted in one motion. There will be no separate discussion of these matters unless a request is made and then the item will be removed from the Consent Calendar to be discussed and voted upon by a separate motion.

- A. Community Development: Approval of the Minutes of the September 12, 2023 Meeting

PUBLIC HEARING:

- A. Community Development: **Conditional Use Permit No. 0008-23:** A request to establish a daycare facility (over 14 persons), in an existing building in the MX-D Downtown Mixed Use zone district. The project is located at 315 W. Lacey Boulevard (APN 012-021-012 and 012-021-014)

DIRECTOR'S COMMENTS:

COMMISSIONERS' ITEMS OF INTEREST:

At this time, any Commissioner may ask a question for clarification of matters within the Planning Commission's

jurisdiction, make an announcement, or report briefly on activities in their role as a Planning Commissioner. In addition, subject to the Planning Commissioner's Handbook, Commissioners may request staff to report back to the Planning Commission at a subsequent meeting concerning any matter within the Commissioner's jurisdiction (GC 54954.2).

ADJOURNMENT:

Materials related to an item on this Agenda submitted to the Planning Commission after distribution of the agenda packet are available to public inspection in the Planning Division Office located at 317 N. Douty Street, Hanford, California 93230, during normal business hours. Such documents are also available at the city's website, www.cityofhanfordca.com subject to staff's ability to post documents before the meeting. If you need a disability-related modification or accommodation, including auxiliary aids or services, to participate in this meeting, please contact the Planning Division's office, 559-585-2580, 317 N. Douty Street, Hanford, California 93230, at least 2 days prior to the meeting {28 CFR 35.102.35.104 ADA Title II} APPEALS: Any action of the Planning Commission, which is a final project decision, may be appealed to the City Council by the applicant or any adversely affected person. To file an appeal, an appeal application and filing fee of \$1,000.00 must be submitted to the Community Development Department, 317 N. Douty Street, Hanford, California, within ten (10) days following the date of the final decision of the Planning Commission.

Materials related to an item on this Agenda submitted to the City Council after distribution of the agenda packet are available to public inspection in the City Clerk's Office located at 319 N. Douty Street, Hanford, California 93230, during normal business hours. Such agendas are also available at the city's website, www.cityofhanfordca.com subject to staff's ability to post the agenda before the meeting.

If you need a disability-related modification or accommodation, including auxiliary aids or services, to participate in this meeting, please contact the City Clerk's office, 559-585-2515, 319 N. Douty Street, Hanford, California 93230, at least 2 days prior to the meeting {28 CFR 35.102.35.104 ADA Title II}



**Planning Commission Regular Meeting
Minutes**

**September 12, 2023 5:30 PM
Council Chambers
400 N. Douty St.**

ROLL CALL:

Present:	Absent:
Chair Martin Devine Vice-Chair Gunther Norris Richard Douglas Alternate Commissioner Garry Curtis	Dennis Ham Jacob Sanchez

INVOCATION:

Pastor Abel Aguilar, New Hope Community Church

FLAG SALUTE:

Chair DEVINE led the flag salute.

PUBLIC COMMENT:

This is the time for citizens to comment on subject matters not on the agenda and that are within the jurisdiction of the Commission. This is also the public's opportunity to request an item from the Consent Calendar be pulled for discussion purposes or to comment on any item on the agenda. Comments related to Public Hearing items will be heard at the time the item is discussed. A maximum of three minutes is allowed for each speaker. Please begin your comments by stating your name and providing your city of residence.

None.

CONSENT CALENDAR:

Consent Calendar items are considered routine and will be enacted in one motion. There will be no separate discussion of these matters unless a request is made and then the item will be removed from the Consent Calendar to be discussed and voted upon by a separate motion.

A. Community Development: Approval of the Minutes of the August 8, 2023 Meeting

Motion to approve the minutes of the August 8, 2023 meeting

RESULT:	Approved
MOVER:	CURTIS
SECONDER:	DOUGLAS
AYES:	CURTIS, DOUGLAS, NORRIS, DEVINE
NAYS:	NONE

ABSTAINS: NONE
ABSENT: HAM, SANCHEZ

PUBLIC HEARING:

A. Community Development: **Annexation 162:** A request to annex 12.17 acres into the City of Hanford from the Kings County jurisdiction.

Prezone No. 0001-23: A request to prezone the land proposed to be annexed as R-L-5 Low-Density Residential, in accordance with the General Plan designation for the territory, Low-Density Residential.

Tentative Tract 940 (Stonehaven): A request, by D.R. Horton, to subdivide the 12.17 acres proposed to be prezoned R-L-5 Low-Density Residential into 82 single-family residential lots.

Planned Unit Development No. 13-23: A request to deviate from the standards of the Hanford Municipal Code, in order to utilize the small lot provisions of Section 17.10.100 to allow:

1. Reduced lot sizes between 3,600 – 4,999 square feet
2. Reduced lot widths
3. Reduced lot depths
4. Reduced setbacks
5. Exception: No limitation on the width of the garage (standard regulation limits garage width to no more than 50% of the residence's frontage)

Location: The Project is located in the Hanford city limits in the City's southwestern portion. The project is located south of Hanford Armona Road, between 12th and 13th Avenues (APN011-040-030)

Chair DEVINE opened the public hearing and called for the staff report. Senior Planner Myers presented the staff report, noting corrections to Public Works Conditions of Approval on pages 74, 75, 124, and 125 of the agenda packet. Pages 74 and 124, "**Sewer Improvements**" 1: The last sentence will be deleted; 2. Refers to "A" Street, and will be corrected to "1st Street." Pages 75 and 125, "**Assessment District**" 1: Refers to "A" Street, and will be corrected to "1st Street." Director Waters added that, per City Council request, the Public Works Condition of Approval requiring the formation of a Community Facilities District (CFD) (pages 75 and 125) will be amended to include storm drain, streets, and public safety services. Resolutions 2023-27 and 2023-28 will be amended to include these corrections. Senior Planner Myers invited questions of staff.

Commissioner CURTIS:

- Is there an earthquake essential for these residences? Staff replied that building plans are reviewed for compliance with the California Building Code, which includes seismic standards.
- Will the current residence be removed? Ms. Myers: Yes.
- The Soil Map shows boundaries outside the parcel area. Is it just overdrawn? Ms. Myers: The soils test may have exceeded the boundaries, but the annexation includes only APN: 011-040-030.
- Could not read the note on page 507. Ms. Myers: This was a comment from the school district stating that the project area is within their most impacted school boundary. To mitigate the impact, the applicant pays a school impact fee. This is the only mechanism for addressing the impact.

There being no further comments, Chair DEVINE opened Public Comment:

IN FAVOR

Matthew Chavez, with D. R. Horton, thanked the Commission and staff, introduced his colleague, Melody Haigh, and the engineering/surveying team from Prost & Pritchard, all of whom were available to answer questions.

OPPOSE

None.

Chair DEVINE called for a motion.

Motion to recommend certification of Mitigated Negative Declaration No. 2023-95 for the project to the City Council.

RESULT: APPROVED
MOVER: DOUGLAS
SECONDER: NORRIS
AYES: DOUGLAS, NORRIS, CURTIS, DEVINE
NAYS: NONE
ABSENT: HAM, SANCHEZ

Motion to adopt Resolution 2023-26, recommending approval of Prezone No. 0001-23 to the City Council

RESULT: APPROVED
MOVER: DOUGLAS
SECONDER: CURTIS
AYES: DOUGLAS, CURTIS, NORRIS, DEVINE
NAYS: NONE
ABSENT: HAM, SANCHEZ

Motion to find that the proposed Annexation No. 162 is consistent with the Hanford General Plan Policies L15 and L17 and forward Annexation No 162 to the City Council, with a recommendation that an application be made to the Local Agency formation Commission (LAFCO) of Kings County..

RESULT: APPROVED
MOVER: NORRIS
SECONDER: CURTIS
AYES: NORRIS, CURTIS, DOUGLAS, DEVINE
NAYS: NONE
ABSENT: HAM, SANCHEZ

Motion to adopt Resolution 2023-27, as amended, recommending approval of Tentative Tract 940 to the City Council

RESULT: APPROVED
MOVER: NORRIS
SECONDER: CURTIS
AYES: NORRIS, CURTIS, DOUGLAS, DEVINE
NAYS: NONE
ABSENT: HAM, SANCHEZ

Motion to adopt Resolution 2023-28, as amended, recommending approval of Planned Unit Development 13-23 to the City Council.

RESULT: APPROVED
MOVER: DOUGLAS
SECONDER: CURTIS
AYES: DOUGLAS, CURTIS, NORRIS, DEVINE
NAYS: NONE
ABSENT: HAM, SANCHEZ

DIRECTOR'S COMMENTS:

Director Waters reported that the city recently received a Sustainable Communities grant from Caltrans in the amount of \$650,000 (with matches totaled, closer to \$750,000). This will be land-use planning for the High Speed Rail station, to determine how to incorporate transit-oriented development in that area. The city should start working on the grant next week and will be issuing a press release soon. Some related items may be coming to the Planning Commission in the near future.

Commissioner CURTIS asked if the Commission would be receiving a status update on the High Speed Rail. Director Waters stated that staff meets with High Speed Rail on a semi-regular basis, and they have provided some updates. They have hired an architectural firm to work on the station design, and they have been working closely

with the city in identifying where utilities are and what the road network in that area might look like. Commissioner CURTIS mentioned that he heard they will be starting on the Hwy 198 overpass soon. Director Waters had also heard that.

COMMISSIONERS' ITEMS OF INTEREST:

At this time, any Commissioner may ask a question for clarification of matters within the Planning Commission's jurisdiction, make an announcement, or report briefly on activities in their role as a Planning Commissioner. In addition, subject to the Planning Commissioner's Handbook, Commissioners may request staff to report back to the Planning Commission at a subsequent meeting concerning any matter within the Commissioner's jurisdiction (GC 54954.2).

Commissioner CURTIS asked about the project that was continued from the August 8, 2023 meeting. City Attorney Mizote replied that it was continued, but not to a date certain. It is still open.

ADJOURNMENT:

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Chair DEVINE adjourned the meeting at 6:00 p.m.

Respectfully submitted,

Diana Black
Recording Secretary

**CITY OF HANFORD PLANNING COMMISSION
STAFF REPORT
Tuesday, October 24, 2023**

PROJECT: **Conditional Use Permit No. 0008-23:** A request to establish a daycare facility (over 14 persons), in an existing building in the MX-D Downtown Mixed Use zone district.

LOCATION: The project is located at 315 W. Lacey Boulevard (APN 012-021-012 and 012-021-014)

PLANNER: Gabrielle Myers, Senior Planner

STAFF RECOMMENDATION

Staff recommends that the Planning Commission:

1. Adopt Resolution No. 2023-29, approving Conditional Use Permit No. 0008-23.

RECOMMENDED MOTION

1. I move to adopt Resolution No. 2023-29, approving Conditional Use Permit No. 0008-23.

PROJECT DESCRIPTION

The project is a request to establish a day care facility for preschool aged children, primarily focused on skills development, arts, and social maturity to serve the families of Hanford. Shenanigans, LLC is the proposed operator of the day care facility. The use is categorized as a day care over 14 persons. The proposed use will occupy an existing building in the MX-D Downtown Mixed Use zone district, as shown in **Attachment 1**.

The project is located on the 300 block of the southern portion of Lacey Boulevard, between Phillips and Redington Streets at 315 W. Lacey Boulevard (APN 012-021-012 and 012-021-014), as shown in Figure 1 and 2. The property is designated by the General Plan as Downtown Mixed Use, as shown in Figure 3, and zoned MX-D Downtown Mixed Use, as shown in Figure 4.

The use of a day care, over 14 persons, requires a conditional use permit in the MX-D Downtown Mixed Use zone district.

Entitlement

The site was formerly occupied by Hanford Family Connection, which was an early learning facility, also categorized as a day care facility, over 14 persons. Therefore, a site plan review is not required since there is not a change in the occupancy of the building. A conditional use permit is required, since the facility has not operated in this location for a period exceeding one year.

Figure 1: Land Use
(Property outlined in red)

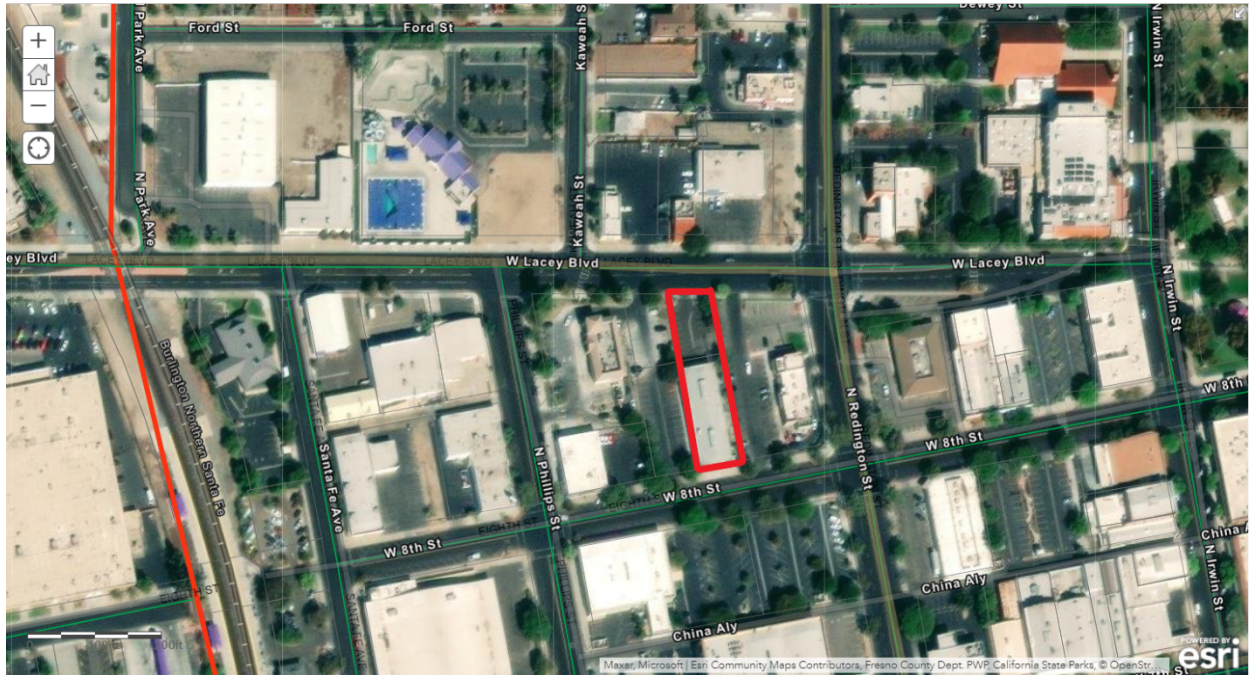


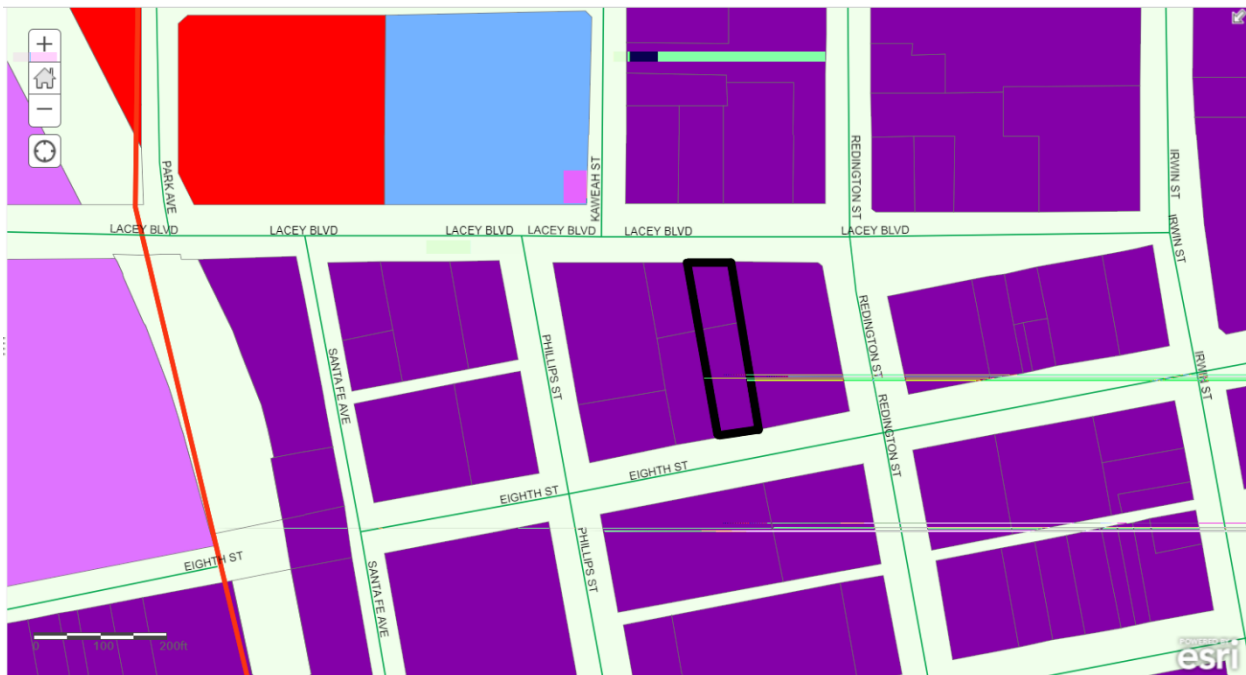
Figure 2: Zoomed Aerial
Portion of the building to be utilized, shown in red



Figure 3: General Plan Designation
Downtown Mixed Use (property outlined in bold)



Figure 4: Zoning Designation
MX-D Downtown Mixed Use (property outlined in bold)



BACKGROUND INFORMATION

The General Plan designates the property as Downtown Mixed Use. The property is zoned MX-D Downtown Mixed Use, which corresponds with the General Plan Designation. According to General Plan Policy L69, the purpose of the Downtown Mixed Use district is to provide a unique pedestrian-oriented, multi-story, concentrated area of shopping, entertainment, eating establishments, high-density housing, and offices primarily served by on-street or public parking concentrated in the historic center of Hanford to serve the entire community. According to General Plan Policy L70, typical uses in the Downtown Mixed Use district include a wide range of retail, financial, governmental, professional, business, service, dining, and entertainment activities, along with high-density residential dwellings. Typical uses include small retail shops, eating and drinking establishments, townhomes, apartments, markets, professional services, convenience stores, beauty salons, and other similar uses. The use of a day care, proposed by the applicant, is consistent with the goals and policies of the Hanford General Plan for the Downtown Mixed Use designation, by providing a service use to serve the community.

Zoning Designation

The applicant seeks to allow a day care facility, over 14 persons, in the MX-D Downtown Mixed Use zone district.

In accordance with the Hanford Municipal Code, Section 17.96.020 Land Use Definitions, “Day care facility” means a facility providing supervision, feeding and nonmedical care of persons, usually but not necessarily children, for a time period of less than twenty-four (24) hours. Day care facilities are further divided into the following categories: up to eight (8) persons, nine (9) to fourteen (14) persons, and over fourteen (14) persons. (A4) (F4) (F5) (F6)

The applicant is seeking to obtain a conditional use permit to allow for a day care facility over 14 persons.

Figure 4:
Table 17.08.030 Commercial, Office, and Industrial Zone Use Table

Commercial, Office, and Industrial Use Table																
P = Use is Permitted by Right C = Use Requires Conditional Use Permit A = Use Requires Administrative Use Permit T = Use Requires Temporary Use Permit Blank = Use is Not Allowed																
Land Uses		Commercial Zones				Mixed Use Zones			Industrial and Office Zones				Other Zones			Specific Land Use Standards (See Identified Section)
		C-N	C-R	C-S	C-H	MX-N	MX-C	MX-D	O-R	O	I-L	I-H	AP	PF	CO	
	Public and Quasi-Public Uses															
F4	Day care, up to eight (8) persons					P	P	P	P							17.60.060
F5	Day care, nine (9) to fourteen (14) persons				C	A	A	A	A							17.60.060
F6	Day care, over fourteen (14) persons				C	C	C	C	C							17.60.060

PROJECT EVALUATION

Conformance with the standards of the MX-D Downtown Mixed Use zone district

17.28.030 Site Area

In the MX-D Downtown Mixed use zone district, the minimum site area shall be 5,000 square feet. The project site encompasses two parcels, APN 012-021-012 and 012-021-014. The parking lot area and location of the future playground are located on the parcel fronting Lacey Boulevard, APN 012-021-012. The building is entirely located on APN 012-021-014. The building is divided into two portions. The day care portion will be accessed from the parking area off of Lacey Boulevard. The remaining portion of the building, to the south, is occupied by PreFab Innovations, and accessed from Eighth Street. APN 012-021-012 is 6,125 square feet. APN 012-021-014 is 10,376 square feet. Together, the parcels total 16,501 square feet. The lot sizes, both individually and cumulatively, exceed the required lot size of the MX-D Downtown Mixed Use zone district.

17.28.040 Lot Dimensions

The minimum lot frontage in the MX-D Downtown Mixed Use zone district shall be 40 feet, unless a reciprocal use agreement for shared common access and parking areas is recorded with the Kings County Recorder's Office. APN 012-021-012 possesses 66.4 feet of street frontage along Lacey Boulevard. APN 012-021-014 possesses 65 feet of street frontage along Eighth Street. The subject parcels satisfy the lot dimension requirements of the MX-D Downtown Mixed Use Zone District.

17.28.050 Coverage

The maximum coverage of the lot shall be determined by the combined building setback area requirements, open space requirements, and off-street parking and loading requirements. The site is fully developed; no expansion of the existing building is proposed in the request for a conditional use permit.

17.28.060 Building Setback Area

No structure is permitted to be placed within a building setback area. In the MX-D Downtown Mixed Use zone district, there is no front building setback area required. The rear, side, and street side setbacks may also be zero, as the property does not abut a R-L, R-M, R-H, OR, O, PF, AP, or CO zone district. The site is fully developed; no expansion of the existing building is proposed in the request for a conditional use permit. The applicant proposes a reconfiguration of the parking area, as well as establishment of a fenced playground area, as shown in **Attachment 1**.

The existing building is located entirely on APN 012-021-014, adjacent to Eighth Street. The building has a zero-setback from the front, side, and rear property lines, which is permitted within the MX-D Downtown Mixed Use zone district.

17.28.070 Distances Between Structures

The minimum distance between a structure used solely for residential purposes and another structure shall be 10 feet, except as provided by the building code. There are no residential structures on site.

17.28.080 Height of Structures

The maximum height of structures in the MX-D Downtown Mixed Use zone district is 100 feet. The structure is a single-story structure, approximately 16 feet high, and does not exceed the height maximum of the District. No building expansion is proposed in the request for a conditional use permit.

17.28.090 Driveways

Whenever possible, developments in the MX-D Downtown Mixed Use zone district shall share driveways to minimize the number of driveways on public streets. The daycare facility will be accessed from the entrance on Lacey Boulevard. The access is existing.

17.28.100 Off-Street Parking

According to General Plan Policy L69, the purpose of the Downtown Mixed-Use district is to provide a unique pedestrian-oriented, multi-story, concentrated area of shopping, entertainment, eating establishments, high-density housing, and offices primarily served by on-street or public parking concentrated in the historic center of Hanford to serve the entire community. The applicant proposes to utilize parking on APN 012-021-012, fronting Lacey Boulevard.

There are presently 11 parking spaces on site. The applicant proposes a reconfiguration of the parking area, as shown in **Attachment 1**. Following reconfiguration, the site will have six parking stalls, one of which is ADA-accessible, and two parallel parking stalls for pick-up and drop-off.

PreFab Innovations does not utilize the parking spaces located on APN 012-021-012. PreFab Innovations employees and patrons utilize the street parking on Eighth Street and the public parking lot located west of PreFab Innovations. In accordance with Section 17.54.040 parking spaces are required at the time of initial occupancy of the site or any existing structure, or the construction of a building, or of a major alteration or enlargement of a site or building or a change in the use of property that requires additional parking spaces, the number of off-street parking facilities for automobiles shall be provided in accordance with Table [17.54.040](#). Since there is not a change in the occupancy of the building, as the former use was a day care facility, additional parking spaces are not required. 17.54.050 Exceptions to required number of spaces.

C. No additional off-street parking facilities shall be required solely because of the remodeling of an existing use or building, unless there is a change in use or increase in floor area or other unit of measurement as the result of such remodeling

F. No existing land use or structure shall be deemed to be a nonconforming use solely because of the lack of off-street parking or off-street loading facilities prescribed in this chapter.

In accordance with Section 17.54 of the Hanford Municipal Code, parking for a day care shall be provided as follows:

Table [17.54.040](#)

Number of Parking Spaces	
Land Use	Parking Space Requirement
Day care	1 space per employee plus on-site drop-off area

There will be five employees, requiring five parking spaces, plus two drop-off parking spaces, for a total requirement of seven parking spaces.

As a condition of approval, staff is requiring the applicant to merge the parcels, to eliminate the use of an off-site parking lot. An off-site parking lot requires a conditional use permit in the MX-D Downtown Mixed Use zone district.

17.28.110 Usable Open Space

In the MX-D Downtown Mixed Use zone district there is no standard requirement for minimum usable open space. However, conditional uses may be required to provide usable open space as a condition of approval. The applicant proposes 2,472, square feet of playground area associated with the day care facility.

17.28.150 General Provisions and Standards

All businesses, services, and processes shall be conducted entirely within a completely enclosed permanently fixed structure, except where specifically permitted by the Hanford Municipal Code. The use proposed will occur within an existing, completely enclosed, permanently fixed structure, however, the outdoor playground will be utilized, periodically, as well. The use of the playground is considered incidental to the day care use.

The project is in conformance with the standards set forth in Section 17.28 for the MX-D Downtown Mixed Use zone district.

17.60.060 Day care centers.

In accordance with Section 17.60.060, a loading and unloading area shall be provided to accommodate no less than two (2) vehicles. The loading and unloading area shall be located within proximity to the main entrance and shall not be located on the opposite side of a street from the day care center.

Two loading and unloading spaces are provided for the site. The required loading and unloading spaces are directly adjacent to the main entrance.

Operating Standards

Hours of Operation

The applicant proposes to operate the day care facility Monday through Friday, 6:00 a.m. to 8:00 p.m.

Number of Persons

The day care facility will have five employees and be able to accommodate 48 children. All children attending the day care facility will be ambulatory, consistent with the licensing requirements of the day care facility.

Kitchen and Cooking On-Site

There is not a kitchen facility on site. Food will not be prepared on site.

Playground

The playground area will consist of a grass mound with a slide and other small accessory structures. The proposed playground area will be fully fenced, to prevent any children from entering the parking area.

FINDINGS FOR APPROVAL

Conditional Use Permit No. 0008-23

In taking action on a Conditional Use Permit, the Planning Commission must make the appropriate findings, in accordance with Section 17.80.030 of the Hanford Municipal Code:

1. The proposed use would not impair the integrity and character of the zoning district in which it is to be located;

ANALYSIS: That the proposed use of a daycare facility for over 14 persons, within an existing building, will not impair the integrity and character of the MX-D Downtown Mixed Use zone district. The use of a day care facility is consistent with the regulations set forth in the Hanford Municipal Code Section 17.28 for the MX-D Downtown Mixed Use District. The use of a day care facility, over 14 persons, is listed as a permitted use with the approval of a conditional use permit in the MX-D Downtown Mixed Use zone district, as prescribed in the land use table in Section 17.08.030. The site was formerly utilized as an early learning facility, which is categorized as a day care facility, also.

2. The proposed use would be compatible with existing land uses and future permitted land uses within the zoning district in which the proposed use is to be located;

ANALYSIS: That the use of a day care facility, over 14 persons, within an existing building is compatible with the existing land uses and the future permitted land uses within the MX-D Downtown Mixed Use zone district. The proposed use will occupy an existing building within a fully developed block. The General Plan designates the property as Downtown Mixed Use. The property is zoned MX-D Downtown Mixed Use, which corresponds with the General Plan Downtown Mixed Use designation, which according to General Plan Policy L70, includes a wide range of retail, financial, governmental, professional, business, service, dining, and entertainment activities, along with high-density residential dwellings. Typical uses include small retail shops, eating and drinking establishments, townhomes, apartments, markets, professional services, convenience stores, beauty salons, and other similar uses. The use proposed by the applicant is consistent with the goals and policies of the Hanford General Plan to develop the Downtown Mixed Use Zone District for community-serving services. The

site was formerly utilized as an early learning facility, which is categorized as a day care facility, also.

3. The proposed use is consistent with the General Plan;

ANALYSIS: The General Plan designates the property as Downtown Mixed Use. According to General Plan Policy L70, the Downtown Mixed Use designation includes a wide range of retail, financial, governmental, professional, business, service, dining, and entertainment activities, along with high-density residential dwellings. Typical uses include small retail shops, eating and drinking establishments, townhomes, apartments, markets, professional services, convenience stores, beauty salons, and other similar uses. The use proposed by the applicant is consistent with the goals and policies of the Hanford General Plan to develop the Downtown Mixed Use Zone District for community-serving services.

4. There will not be significant effects upon the quality of the environment and natural resources;

ANALYSIS: That this project is categorically exempt from further environmental review, as per Section 15301 Existing Facilities of the California Environmental Quality Act (CEQA) Guidelines. A Notice of Exemption has been prepared and is attached as **Attachment 2**.

5. The proposed location, size, design, and operating characteristics of the proposed use would not be detrimental to the public interests, health, safety, convenience or welfare of the city and that any incompatible impacts of the proposed use are mitigated by conditions of approval.

ANALYSIS: That this application has been reviewed by the various City departments and evaluated for conformity with the requirements of the Hanford Municipal Code Section 17.28 for the MX-D Downtown Mixed Use zone district. The use of a day care facility, over 14 persons, is consistent with the regulations set forth in the Hanford Municipal Code Section 17.28 for the MX-D Downtown Mixed Use District and the Specific Land Use Requirements, set forth for Day Care Centers in Section 17.60.60 of the Hanford Municipal Code. Any other improvements or mitigations required for public health, safety, and welfare have been applied to the project as conditions of approval of Resolution 2023-29.

PUBLIC COMMENTS

A Notice of Public Hearing for a Conditional Use Permit was noticed in the Hanford Sentinel on October 13, 2023 and mailed to property owners within 300 feet of the project site on October 12, 2023. No comments were received, as of the date of preparation of this report.

ENVIRONMENTAL ASSESSMENT

That this project is categorically exempt from further environmental review, as per Section 15301 Existing Facilities of the California Environmental Quality Act (CEQA) Guidelines. A Notice of Exemption has been prepared and is attached as **Attachment 2**.

RECOMMENDATION

Staff recommends that the Planning Commission:

1. Adopt Resolution No. 2023-29, approving Conditional Use Permit 0008-23.

Applicant:

Alex Panzera
Pre-Fab Innovations
340 W Eighth Street
Hanford, CA 93230

Owner:

Sharp, Sidney J. W. & Janet E Bypass Trust
1518 N. Irwin Street
Hanford, CA 93230

RESOLUTION NO. 2023-29

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HANFORD PERTAINING TO CONDITIONAL USE PERMIT NO. 0008-23, A REQUEST TO ESTABLISH A DAY CARE FACILITY FOR OVER 14 PERSONS IN THE MX-D DOWNTOWN MIXED USE ZONE DISTRICT. THE PROJECT IS LOCATED AT 315 W. LACEY BOULEVARD (APN 012- 021-012 AND 012-021-014)

At a regular meeting of the City of Hanford Planning Commission duly called and held on October 24, 2023 on motion of Commissioner _____, seconded by Commissioner _____, and duly carried, the following resolution was adopted:

WHEREAS, Conditional Use Permit No. 0008-23, a request to convert establish a day care facility for over 14 persons in the MX-D Downtown Mixed Use zone district, as shown in **Exhibit A**, has been reviewed by the Planning Commission of the City of Hanford in accordance with Title 17.80 of the Hanford Municipal Code; and

WHEREAS, the project is located at 315 W. Lacey Boulevard (APN 012-021-012 and 012-021-014); and

WHEREAS, staff, the various governmental departments, and the Planning Commission have given careful consideration to this conditional use permit and have made recommendations thereon; and

WHEREAS, the project is exempt from environmental review, per Section 15301 Existing Facilities of the California Environmental Quality Act of the California Environmental Quality Act (CEQA) Guidelines and a Notice of Exemption has been prepared; and

WHEREAS, on the basis of the facts and evidence provided in the staff report and the written and oral evidence presented at the public hearing, the Planning Commission hereby makes the following findings pursuant to Section 17.80.030 of the Hanford Municipal Code:

1. The proposed use would not impair the integrity and character of the zoning district in which it is to be located;

ANALYSIS: That the proposed use of a daycare facility for over 14 persons, within an existing building, will not impair the integrity and character of the MX-D Downtown Mixed Use zone district. The use of a day care facility is consistent with the regulations set forth in the Hanford Municipal Code Section 17.28 for the MX-D Downtown Mixed Use District. The use of a day care facility, over 14 persons, is listed as a permitted use with the approval of a conditional use permit in the MX-D Downtown Mixed Use zone district, as prescribed in the land use table in Section 17.08.030. The site was formerly utilized as an early learning facility, which is categorized as a day care facility, also.

2. The proposed use would be compatible with existing land uses and future permitted land uses within the zoning district in which the proposed use is to be located;

ANALYSIS: That the use of a day care facility, over 14 persons, within an existing building is compatible with the existing land uses and the future permitted land uses within the MX-D Downtown Mixed Use zone district. The proposed use will occupy an existing building within

a fully developed block. The General Plan designates the property as Downtown Mixed Use. The property is zoned MX-D Downtown Mixed Use, which corresponds with the General Plan Downtown Mixed Use designation, which according to General Plan Policy L70, includes a wide range of retail, financial, governmental, professional, business, service, dining, and entertainment activities, along with high-density residential dwellings. Typical uses include small retail shops, eating and drinking establishments, townhomes, apartments, markets, professional services, convenience stores, beauty salons, and other similar uses. The use proposed by the applicant is consistent with the goals and policies of the Hanford General Plan to develop the Downtown Mixed Use Zone District for community-serving services. The site was formerly utilized as an early learning facility, which is categorized as a day care facility, also.

3. The proposed use is consistent with the General Plan;

ANALYSIS: The General Plan designates the property as Downtown Mixed Use. According to General Plan Policy L70, the Downtown Mixed Use designation includes a wide range of retail, financial, governmental, professional, business, service, dining, and entertainment activities, along with high-density residential dwellings. Typical uses include small retail shops, eating and drinking establishments, townhomes, apartments, markets, professional services, convenience stores, beauty salons, and other similar uses. The use proposed by the applicant is consistent with the goals and policies of the Hanford General Plan to develop the Downtown Mixed Use Zone District for community-serving services.

4. There will not be significant effects upon the quality of the environment and natural resources;

ANALYSIS: That this project is categorically exempt from further environmental review, as per Section 15301 Existing Facilities of the California Environmental Quality Act (CEQA) Guidelines. A Notice of Exemption has been prepared and is attached as **Attachment 2**.

5. The proposed location, size, design, and operating characteristics of the proposed use would not be detrimental to the public interests, health, safety, convenience or welfare of the city and that any incompatible impacts of the proposed use are mitigated by conditions of approval.

ANALYSIS: That this application has been reviewed by the various City departments and evaluated for conformity with the requirements of the Hanford Municipal Code Section 17.28 for the MX-D Downtown Mixed Use zone district. The use of a day care facility, over 14 persons, is consistent with the regulations set forth in the Hanford Municipal Code Section 17.28 for the MX-D Downtown Mixed Use District and the Specific Land Use Requirements, set forth for Day Care Centers in Section 17.60.60 of the Hanford Municipal Code. Any other improvements or mitigations required for public health, safety, and welfare have been applied to the project as conditions of approval of Resolution 2023-29.

THEREFORE, BE IT RESOLVED that Conditional Use Permit No. 0008-23 be approved, subject to the conditions of approval, attached as **Exhibit B**, and the conditions below:

1. That prior to occupancy of the day care facility, a parcel map waiver be completed to merge the APN 012-021-012 and 012-021-014, so parking is provided on-site. If a parcel map waiver is not required, a conditional use permit for an off-site parking lot shall be required.

2. A loading and unloading area shall be provided to accommodate no less than two (2) vehicles.
3. The loading and unloading area shall be located within proximity to the main entrance. And shall not be located on the opposite side of a street from the day care center.

EXPIRATION

That this Conditional Use Application Permit become null and void two (2) years after the effective date of approval, unless, prior to the expiration, the use for which the permit was approved has commenced. Prior to expiration of a permit, a person having authority to file an application may file a written request with the Community Development Director for extension of a permit that may otherwise expire. The request for extension will be taken to the Planning Commission, who may extend the expiration of the permit by one year.

PASSED AND ADOPTED at a regular meeting of the Hanford City Planning Commission by the following vote:

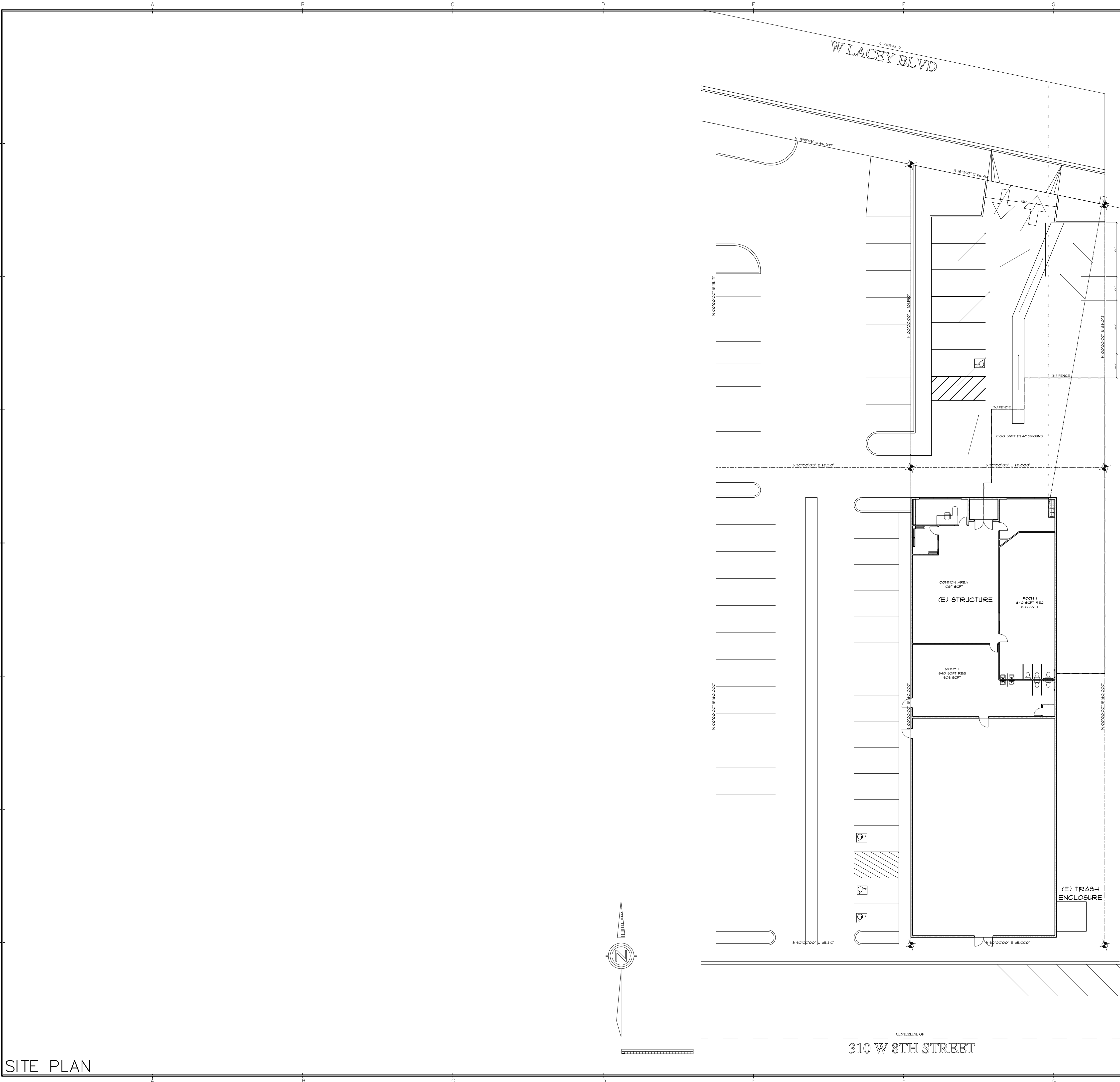
AYES:	Commissioners
NOES:	Commissioners
ABSTAIN:	Commissioners
ABSENT:	Commissioners

STATE OF CALIFORNIA)
COUNTY OF KINGS) ss
CITY OF HANFORD)

I, **Jason Waters**, Secretary of the City of Hanford Planning Commission, do hereby certify the foregoing Resolution was duly passed and adopted by the Planning Commission of the City of Hanford at a regular meeting thereof held on the 24th day of October 2024.

Jason Waters, Secretary

Exhibit A
Site Plan



SITE PLAN

SITE SITE PLAN

SCOPE: REMODEL EXISTING SRTCTURE

SHEET INDEX

2K

BUILDING ADDRESS 315 W. LACEY BLVD
HANFORD CA 93230
OWNERS: SHARP PROPERTIES OF HANFORD
PO BOX 1264
(OWNER'S ADDRESS) HANFORD, CA 93232

SOIL CLASS "D"
SEISMIC IMPORTANCE FACTOR #1 36.294451 N, 119.342293 W SITE CLASS D - "STIFF SOIL" RISK CATEGORY I/II/III S ₁ = 0.024g S _{0.2} = 0.011g S _{0.1} = 0.041g S ₁ = 0.256g S _{0.2} = 0.483g S _{0.1} = 0.322g F _a = 0.84 F _v = 0.483

ZONE: MX-D
APN: 012-021-014
012-021-012
CONSTRUCTION TYPE: VB OCCUPANCY: R3,U
NUMBER OF STORIES: 1 OVERALL HEIGHT: 16'-8"
SEISMIC DESIGN CATEGORY: D RISK CATEGORY: II
ULTIMATE DESIGN WIND SPEED: 110 MPH - EXPOSURE C
SETBACKS: FRONT - 0'
SIDE - 0'
REAR - 0'
NO EXISTING SPRINKLERS
NO NEW SPRINKLERS REQUIRED
NO NEW SOLAR REQUIRED

FLOOR AREA 3750 SQFT (E) BUILDING AREA
2472 (N) PLAYGROUND AREA

PROJECT INFORMATION

4K

- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF THE C.B.C. AND RESIDENTIAL CODE AS AMENDED BY LOCAL BUILDING AUTHORITIES.
- CONTRACTOR AND ALL SUB-CONTRACTORS SHALL CHECK ALL DIMENSIONS SHOWN ON THESE PLANS AGAINST CONDITIONS IN THE FIELD. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- CONTRACTOR MAY MAKE ADJUSTMENTS TO THE PLACEMENT OF THE BUILDING AS NECESSARY SO LONG AS ALL MINIMUM SETBACKS ARE OBSERVED.
- LOT SHALL BE GRADED TO DRAIN WATER AWAY FROM ALL FOUNDATIONS AT A SLOPE OF 5% WITHIN 10 FEET OF THE BUILDING (CRC R401.3)
4a. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL SLOPE AT A MINIMUM OF 2% AWAY FROM BUILDING.
- ON-SITE RETENTION OF WATER AND DRAINAGE OF WATER ACROSS OR ON TO ANY ADJACENT PROPERTY IS NOT ALLOWED. MAINTAIN A .5% SLOPE FROM REAR OF PROPERTY TO FRONT.
- PROVIDE STREET ADDRESS NUMERALS AT LEAST 4" HIGH W/ 1/2" STROKE ON CONTRASTING BACKGROUND, CLEARLY VISIBLE FROM THE STREET.
- FINISHED FLOOR ELEVATION TO BE ABOVE THE CROWN OF THE STREET. CHANGES FROM THE APPROVED PLANS DURING THE COURSE OF CONSTRUCTION SHALL CAUSE CONSTRUCTION TO BE SUSPENDED UNTIL SUCH TIME AS THE PLANS CAN BE AMENDED BY THE DESIGNER AND SUBMITTED TO THE BUILDING DEPT FOR REVIEW AND APPROVAL.

THE SOIL BEARING CAPACITY PER CRC TABLE R401.4.1 IS 1500 PSF
CONCRETE DESIGN STRENGTH PER CRC TABLE R402.2 IS 2500 PSF
MATERIAL DEAD LOADS PER CRC R301.2.2.1 IS 15 PSF ROOF 10 PSF FLOOR
MATERIAL LIVE LOADS PER TABLE R301.5 IS 40 PSF
WALL BRACING ADJ. FACTOR PER TABLE R602.10.3 IS 1

SITE NOTES

6K

- ALL WORK SHALL CONFORM TO THE 2019 EDITION OF THE CALIFORNIA RESIDENTIAL CODE, CA GREEN BUILDING STANDARDS CA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA ELECTRICAL CODE, RESIDENTIAL CODE, TITLE 24 AND ALL STATE AND LOCAL CODES.
- THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AT THE JOB SITE, AND SHALL BE SOLELY RESPONSIBLE FOR ALL QUANTITIES OF MATERIALS AND/OR EQUIPMENT REQUIRED TO PROPERLY COMPLETE THE WORK. ANY DAMAGE TO EXISTING PROPERTY THAT MAY OCCUR DURING THE COURSE OF WORK SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR.
- ROLE OF THE DRAFTSMAN:
 - THE DRAFTSMAN WAS RETAINED BY THE OWNER:
 - TO PREPARE SUFFICIENT DRAWINGS AND SPECIFICATIONS FOR REVIEW BY GOVERNMENTAL AGENCIES HAVING JURISDICTION, AND TO SECURE APPROVAL FOR ISSUING REQUIRED GENERAL BUILDING PERMIT.
 - TO PROVIDE ADDITIONAL CONSULTING SERVICES WHEN AND IF SO REQUIRED BY THE OWNER DURING THE CONSTRUCTION PHASE.
 - THE DRAFTSMAN WILL NOT PARTICIPATE IN OTHER CONSTRUCTION PHASE ACTIVITIES EXCEPT AS MAY BE REQUIRED BY LOCAL JURISDICTION.
 - THE DRAFTSMAN WILL ACCEPT NO FINANCIAL RESPONSIBILITY ARISING FROM ERRORS OR OMISSIONS CONTAINED IN THESE OR OTHER DOCUMENTS PREPARED BY THE DRAFTSMAN. THE BUILDING CONTRACTOR MUST REVIEW ALL DOCUMENTS FOR ERRORS PRIOR TO ACCEPTANCE OF DOCUMENTS.

GENERAL NOTES

8K

Revisions

Prefab Innovations
559.582.3871

ADDRESS:
340 West 8th Street
Hanford, CA 93230
Alex Panzera
www.PrefabInnovations.com
APanzera@prefab.com

DESCRIPTION FOR:
SHENANEAGANS LLC
310 W 8TH STREET
HANFORD, CA 93230
(559) 203-5204

Date
22 MAR 2023
Scale
1/16" = 1' U.O.N.

SHEET NUMBER
SITE

Exhibit B
Conditions of Approval

ADMINISTRATION DEPARTMENT

Contact the City Attorneys' Office: (559) 584-6656

Concerning questions that you may have on the conditions listed below:

Defense and Indemnification Provisions:

1. That the applicant shall defend, indemnify, and hold harmless the City of Hanford ("City"), its officials, officers, employees, representatives, agents and attorneys, from and against all claims, damages, losses, judgments, liabilities, expenses and other costs, including litigation costs and attorney's fees, arising out of, resulting from, or in connection with, the City's act or acts leading up to and including approval of any environmental document and/or granting of any approvals relating to the Project. Applicant's obligation to defend, indemnify and hold the City harmless specifically includes, but is not limited to, any suit or challenge by any third party against the City which challenges or seeks to set aside, void or annul the legality or adequacy of any environmental document approved by the City or any approval related to the Project.

PLANNING DIVISION
SITE PLAN REVIEW COMMENTS

MEETING DATE: September 27, 2023

SITE PLAN NUMBER: CUP 0008-23 REV2

CONTACT: Gabrielle Myers, Senior Planner: (559) 585-2578

General Plan Designation: Downtown Mixed Use

Zoning: MX-D Downtown Mixed Use

Other Special Districts: N/A

Planning Division Recommendation ☒ Revise and Proceed ☐ Resubmit

The project does meet the requirements of the Hanford Municipal Code, development standards and other codes and policies.

Required Entitlements:

- Conditional Use Permit – Day Care Facility, Over 14 persons
- Lot line adjustment – removing the lot line between the two properties

MX-D Downtown Mixed Use

General: (all comments checked shall apply)

- ☒ That approval of this project does not exempt compliance with all applicable sections of the Zoning Ordinance, Public Works Improvement Standards, fees, or other City Ordinances.
- ☒ That all approved proposals of the applicant be conditions of development, if not mentioned herein.
- ☒ That the site be developed according to the approved site plan, titled Conditional Use Permit No. 0008-23 with minor modifications to be approved by the Community Development Department.
- ☒ That no expansion of the use which would tend to increase the projected scale of operations beyond the scope and nature described in this Conditional Use Permit shall be permitted except upon application for, and approval of, modification of this application according to all procedures and requirements thereof.
- ☒ That no business, service, or processes that is not part of the main use of the site shall be conducted outside a completely enclosed (or screened) permanently fixed structure.
- ☒ That mechanical equipment shall be located a minimum of five feet from a rear or side lot line that abuts a R-L, R-M, R-H, OR, O, PF, AP, or CO zone district

- ☒ That use of the site shall comply with the uses listed as permitted, permitted with an administrative approval, conditionally permitted, or temporarily permitted in the land use table presented in chapter 17.08.
- ☒ That the Mixed Use Downtown zone district shall be designed to provide and encourage walking within the commercial uses between the commercial uses and the residential uses within the MX-D zone and other nearby residential uses. At a minimum, this shall be accomplished with a minimum six-foot wide pedestrian path of travel between site entrances and the public sidewalk.

Cultural Resources:

- ☒ That if cultural resources are discovered during construction or related activities, all work shall be halted and a qualified archeologist and the City of Hanford shall be notified. The find shall be properly investigated and appropriate measures are to be taken before construction may continue.

Height of Structures (Section 17.28.080)

- ☒ That the maximum structure height shall be 100 feet.

Off Street Parking: (Section 17.54).

- ☒ That the applicant provide 7 parking stalls, as shown on the approved site plan, one of which is ADA-accessible.

In accordance with Section 17.54 of the Hanford Municipal Code, parking for a day care shall be provided as follows:

Table [17.54.040](#)

Number of Parking Spaces	
Land Use	Parking Space Requirement
Day care	1 space per employee plus on-site drop-off area

There will be five employees, requiring five parking spaces, plus two drop-off parking spaces, for a total requirement of seven parking spaces.

As a condition of approval, staff is requiring the applicant to merge the parcels, to eliminate the use of an off-site parking lot. An off-site parking lot requires a conditional use permit in the MX-D Downtown Mixed Use zone district.

- ☒ That the standard parking space shall not be less than 18.5 feet in length and nine feet in width, exclusive of aisles and access drives (Section 17.54.110 A).
- ☒ That the maximum number of compact-car parking spaces is limited to 30 percent of the total parking spaces required. A compact parking space shall not be less than 16 feet in length and 8 feet in width, and marked for compact cars (Section 17.54.110 B. and C).

- ☒ There shall be no more than four compact spaces adjacent to each other.
- ☒ That parking for bicycles and low-emission vehicles shall be provided in accordance with the latest adopted version of the California Building Code (Section 17.54.190).
- ☒ In the commercial zone district, not less than five percent of the interior square footage of a parking area shall be landscaped with trees and other plant materials suitable for ornamentation. **Parking areas are to have one tree placed at every four lineal parking stalls.**

Usable Open Space: (Section 17.28.110).

- ☒ That there is no standard requirement for minimum usable open space.
- ☐ Conditional uses may be required to provide usable open space as a condition of approval.

Signage: (Section 17.56).

- ☒ That any/all signs proposed for this development shall be subject to the requirements and prescribed in Chapter 17.56 of the Hanford Municipal Code. A separate application is required.

Landscaping: (Section 17.20.120 and 17.52).

- ☒ **Parking lots developed next to a street shall provide a landscape buffer between the street and the parking lot of at least ten (10) feet.**
- ☒ General Design Standards: the following features shall be incorporated into the design of the proposed landscape and shown on the required landscape plans:
 - ☒ Publicly maintained landscape areas shall be separated from privately maintained landscape areas with, at a minimum, a four (4) inch wide concrete mow strip.
 - ☒ Pedestrian access to sidewalks and structures shall be integrated with the design of landscaped areas.
 - ☒ Landscape adjacent to driveways and parking areas shall be protected from vehicle damage through the provision of a minimum six (6) inch high and six (6) inch wide concrete curb.
 - ☒ Concrete mow strips, when used, shall be a minimum of four (4) inches in width.
 - ☒ Trees and shrubs shall be planted so that at maturity they do not interfere with utility lines and traffic safety sight areas.
 - ☒ Trees and shrubs shall be planted and maintained in a manner that protects the basic rights of adjacent property owners, particularly the right to solar access.

- ☒ Trees planted within five (5) feet of sidewalks or curbs shall have an eighteen (18) inch by ten (10) foot long linear root barrier placed at each edge of the sidewalk or face of curb, centered on the tree.
- ☒ Plant materials. Plant materials shall be selected and installed in accordance with the following requirements:
 - ☒ The size of ten (10) percent of the trees to be planted shall be twenty-four (24) inch box or larger. The remaining trees shall be sized fifteen (15) gallons or larger.
 - ☒ The size of seventy (70) percent of plants and shrubs shall be at five (5) gallon or larger. The remaining plants and shrubs shall be sized one (1) gallon or larger.
 - ☒ The size of groundcover at planting shall be one (1) gallon or larger.
 - ☒ Groundcover shall be designed to have one hundred (100) percent coverage within two (2) years.
 - ☒ Drought tolerant plant material and climate appropriate species shall be emphasized in the design.
- ☒ That the landscaped area shall be planted with live and healthy plant materials suitable for screening/or ornamenting the site. Landscaped areas shall be watered by automatic systems and designed and developed in accordance with Chapter 12.08 and the most recent State Model Water Efficient Landscaped Ordinance.
- ☒ That no fence, hedge, or shrub shall be installed, planted, or maintained along a street frontage, which creates a traffic or pedestrian hazard.

Fencing and Walls: (Section 17.28.130)

- ☒ **That no fence or wall shall be placed in front of or within any landscaped area located next to a street.**
- ☒ That the open storage of materials and equipment attendant to a use shall be permitted only within an area surrounded or screened by a solid wall or fence seven feet minimum in height.
- ☒ That any proposed fencing on the site be maintained in good repair.
- ☒ That no fence or wall shall be placed within the public right-of-way.
- ☒ That a masonry fence exceeding three (3) feet in height shall require engineered footings and a building permit. All other fencing exceeding seven (7) feet in height shall require engineered post footings and a building permit.
- ☒ That no hedge, shrub, fence, or wall exceeding the three (3) feet in height, or four (4) feet in height if the upper one (1) foot is fifty (50) percent or more open shall be planted, placed, or maintained within the twenty-five (25) feet corner sight triangle of a corner lot, or along a front or street side property line where the hedge, shrub, fence, or wall creates a traffic or pedestrian hazard as determined by the Community Development Director.

Outdoor Lighting Standards (Section 17.50.140)

- ☒ That all lights and light fixtures, except public street lights, shall be located, aimed or shielded so as to minimize light trespassing across property boundaries or skyward.
- ☒ That building mounted lighting fixtures shall be attached only to the walls of the building. The top of a light fixture attached to a building wall shall not be higher than the top of the building parapet or the top of the roof eave, whichever is lower.
- ☒ That the canopy ceiling light fixtures shall be recessed or the sides of the lens area shall be shielded, in order to eliminate emission of horizontal light.
- ☒ That the height of freestanding light fixtures, including freestanding parking lot fixtures, shall be measured from the top of a light fixture to the adjacent grade at the base of the support for that light fixture and shall not exceed 30 feet.

Dust Control:

- ☒ That the appropriate dust-control practices of the San Joaquin Valley Air Pollution Control District shall be implemented.
- ☒ That the any necessary permits be obtained through the San Joaquin Valley Air Pollution Control District.

BUILDING DIVISION

Contact Building Official: Tom Webb (559) 585-2584

Concerning questions that you may have on the conditions listed below:

1. That the address be 315 W. Lacey Boulevard.

Hanford Fire Department

Contact Fire Marshal Christy Whittington @ 559-585-2594 or cwhittington@cityofhanfordca.com

concerning questions that you may have on the following conditions.

Site Plan Review: CUP 0008-23

Date: May 4, 2023

Project Location: 315 W. Lacey Blvd.

General Instructions

1. Approval of this project does not exempt compliance with all applicable sections of the City adopted fire codes and local fire ordinances.
2. All fire protection systems must be installed and operational prior to occupying the building.
3. All permits shall be issued, and fees paid prior to scheduling inspections with the Fire Department. To schedule appointments for inspections, please call **559-585-2545**.
4. Scope of work shall be clearly stated on all plans submitted for permit.
5. All deferred submittals shall be listed on the building plan title page. All deferred submittals are required to be submitted within 30-days of building permit issuance.

The following comments are applicable if checked:

1. ☐ No comments.
2. ☒ This project must comply with the latest applicable codes.
3. ☒ Project must meet minimum fire flow requirements per the table in Appendix B & C of the 2022 Ca. Fire Code. Provide most current fire flow information for this location.
4. ☒ If a new fire hydrant flow test is required, contact the fire department for submittal requirements.
5. ☐ If existing residence has an automatic sprinkler system, proposed accessory dwelling unit shall have an automatic sprinkler system. **A separate fire department permit is required.** Please contact the Building department for the submittal process.
6. ☒ For automatic sprinkler systems, **a separate permit will be required for underground fire lines and for automatic fire sprinkler system.** Please contact the building department for submittal information.
7. ☒ Fire Riser Room: All new buildings that require an automatic fire sprinkler system shall contain a separate room to house the fire riser inside of it and shall have the following building elements:
 - At least one-man door shall be provided- only exterior door(s) are allowed
 - The fire riser room and the door shall be large enough to accommodate repairs and/or maintenance needed by the use of tools and the removal and/or replacement of parts/pipe to the fire riser or FDC; suggested size 4' X 4' room.

- One-hour rated construction
- Fire Sprinkler head coverage required
- Normal and emergency back-up lighting shall be installed inside the fire riser room.
- The exterior of the fire riser door shall have permanent signage stating **FIRE RISER ROOM** in a contrasting color to background.
- For existing buildings: please contact the Fire Department.

8. ☒ When a sprinkler system is required with 21 or more sprinkler heads, the system shall be monitored by a Central Station Service. Fire alarm and detection systems required by Chapter 9 of the currently adopted edition of the California Building Code (CBC) and CFC shall be installed per NFPA 72. **A separate fire department permit is required** for fire sprinkler monitoring and/or fire alarm systems required by the latest edition of the CBC. Contact the Building Department for the submittal process.
9. ☒ A hydrant will be required within 50 feet of the Fire Department connection. **Knox FDC Locking Caps** are required on all FDC's. The ordering of Knox Box products can be done directly at www.knoxbox.com. Click to choose your local fire department agency, enter "Hanford Fire Dept", and a list of products will populate for you to order.
10. ☒ When any portion of the facility or building to be protected is more than 400 feet from a hydrant on a fire apparatus access road (as measured by an approved route around the exterior of the building) on-site fire hydrants and mains shall be provided where required by the fire code official.
11. ☒ Depending on the location of the existing fire hydrant(s), additional fire hydrants may be required. All hydrants must be in place and accepted by the fire department prior to any combustibles being brought onto the site.
12. ☐ No additional hydrants are necessary for this project.
13. ☐ Number of additional hydrants necessary for this project: _____
14. ☒ Fire hydrant spacing shall be as follows:
- Section 507 or as required by appendix C of the 2022 CFC.
15. ☒ Fire hydrant protection posts shall be installed at all fire hydrants that are subject to vehicle damage.
16. ☒ Approved fire apparatus access roads shall be provided for every facility, building, or portion of a building constructed or moved onto or with the City of Hanford. It shall extend to within 150 feet of all portions of the facility and all portions on the exterior walls of the first story of the buildings (as measured by an approved route around the exterior of the building or facility).
17. ☐ All dead-end access roads more than 150 feet must be provided with an approved turn-around or hammer head complying with City standards.

18. ☒ All access road shall not be less than 20 feet wide and 13 feet 6 inches in height.
19. ☒ Access road turning radius for fire apparatus is as follows:
- 20 feet, 1 inch inside turning radius
 - 44 feet, 6 inch outside radius
20. ☒ Additional access roads may be required per CFC 2022 Section 503.1.2. The fire code official is authorized to require more than one fire apparatus access road based on the potential for impairment of a single road by vehicle congestion, condition of terrain, climatic conditions or other factors that could limit access.
21. ☐ Traffic calming devices shall not be installed onto fire department emergency access roads unless prior approval is obtained from the Hanford Fire Department.
22. ☒ Areas identified as "Fire Lanes" must be identified as such per requirements set forth in the California Vehicle Code Section 22500.1:
- **Access roads 20-26 feet in width:** Fire lanes shall be on both sides of the fire apparatus access roads.
 - **Access roads 26 to less than 32 feet in width:** Fire lanes shall be on one side of the fire apparatus access roads.
 - **Access roads 32 feet in width or more:** No fire lanes required.
23. ☒ Where required by the fire code official, approved signs or other approved notices or markings that include the words NO PARKING - FIRE LANE shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof. The means by which fire lanes are designated shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility.
24. ☒ Temporary or permanent fire department access roads shall be constructed in accordance with City Standards ST-36. All weather access roads shall be in place prior to any combustible construction being brought onto the premises unless approved by the fire department.
25. ☒ Locked gates installed across fire department access roads:
- **Manual gates** with a chain lock require a **Knox Padlock** to be installed on them; or a **Knox Box** shall be installed on the exterior of the gate and a key to the lock on the gate must be placed in the Knox Box. (See www.knoxbox.com for current models)
 - **Electric Gates** shall be equipped with an electric **Knox Key Switch**, at the gate location.
 - In case of a loss of power, electrically operated gates shall have a means of back-up power or shall default in the open position for immediate fire department access.

- At no time shall the width of the fire department access road be reduced below **20-feet wide through or at any gates** along the fire departments' emergency access roads due to protruding objects from gate supports, frames, signs, access booths, curbs, etc.

26. ☒ A Knox Box will be required. Keys that open all locked areas will also be required and placed in the Knox Box. The ordering of Knox Box products can be done directly at www.knoxbox.com. If there is an existing Know Box installed, contact the Fire Department to determine if it will suffice.

27. ☒ All address numbers shall be installed onto the building and shall be visible from the frontage street. The color of the address numbers shall be in a contrasting color to the building.

Size of Address Numbers:

- Downtown area (existing buildings): 4 inch numbers
- Buildings 20-ft. or less from the street: 6 inch numbers
- Buildings 21- to 40-ft. from the street: 8 inch numbers
- Buildings more than 40-ft. from street: 12 inch numbers

28. ☐ Commercial cooking equipment that produce grease laden vapors shall be provided with a Type I hood. ***A separate permit is required for the Type I hood.*** Contact the **Building** department for submittal information.

29. ☐ All commercial cooking appliances creating grease laden vapors shall have a K-Class fire extinguisher within 30-feet of cooking appliances in accordance with the most currently adopted edition of the CFC.

30. ☐ ***A separate permit is required*** for all hazardous material and/or flammable and combustible liquids, gases, solids, etc., over the exempt amounts set forth in the latest adopted edition of the California Fire Code.

31. ☐ ***A fuel tank permit is required*** for underground and aboveground gasoline/LPG/Diesel.

32. ☐ Combustible high-piled storage over 12 feet ***requires a separate fire department review and permit.*** Contact the fire department for further information.

33. ☒ Provide a Knox Box for all structures and gates. In accordance to the 2019 CFC 506.1. Location shall be approved by Hanford Fire Department.

34. ☒ Provide premises identification for all structures. Shall be visible from the street. A minimum of four (4) inch numbering on contrasting background. In accordance to the 2022 CFC 505.1

35. ☐ Insulated liquid carbon dioxide systems used in beverage dispensing applications with more than 100 pounds (45.4kg) of carbon dioxide shall comply with 2019 CFC 5307.3.1
36. ☒ Facility to provide minimum 2A10BC type fire extinguishers. Provide location and number of fire extinguishers to be installed in accordance with California Fire Code, section 906.
37. ☐ All exiting shall comply with California Fire and Building Code requirements. Requirements shall comply with section 10 of the 2019 CFC 1004.9
38. ☐ Posting of Occupant Load sign shall be provided if room or spaces used for Assembly, Classroom, Dining, or similar purposes having an occupant load of fifty (50) or more persons. Sign shall be placed in conspicuous location and near the main exit in accordance to CFC 1004.9
40. ☐ Any Special Event project shall comply with 2022 edition of the California Fire Code, chapter 31 for tent structures, exiting, fire extinguishers and other fire protection applications.



City of Hanford

Public Works Department

900 South 10th Ave. • Hanford, CA 93230-5234 • (559) 585-2550

Utilities Division Comments

General:

1. That all work within the public street right-of-way shall be under the control of a General Engineering Contractor, licensed for that purpose. Contractor shall verify all conditions in the field prior to commencing construction.
2. That locations of existing water, sanitary sewer and storm drain mains in the vicinity of the project site will be marked by Public Works Department staff based upon the city's best available records. Contractor shall provide city with a minimum of 48 hours prior notice when requesting location of existing utilities at (559) 585-2564. The City of Hanford is not a member of Underground Service Alert (U.S.A.).

Engineering Division Comments

General Requirements:

1. That the development shall comply with all applicable City of Hanford Standards and Specifications requirements. Any deviation from said Standards and Specifications must be approved by the City Engineer prior to construction.
2. That an Encroachment Permit for all work located within the public street right-of-way shall be obtained from the Public Works Department prior to start of work. For additional information regarding Encroachment Permit requirements, contact the City Engineering Division at (559) 585-2558.

Curb, Gutter, and Sidewalk Requirements:

1. The drive approach must be brought up to City-Standard, including a 24-foot wide drive approach (City standard attached).
2. The minimum drive-aisle width for two-way traffic is 24 feet, however 90-degree parking stalls require a 26-foot backup.

Map and Plan Requirements:

1. That the developer shall submit to the City Engineer a set of construction plans on 24" X 36" size sheets for all required improvements. The plans shall be prepared by a licensed civil engineer, and shall include a site plan showing all on-site and off-site improvements, including but not limited to, sanitary sewer, storm drainage, and water system infrastructure, refuse enclosure locations, public street & parking lot improvements, landscape & irrigation systems and all other improvements as required by the project conditions of approval and the City of Hanford Standards and Specifications. Plans must be approved by the City of Hanford and any other affected agencies before issuance of building permits.
2. That prior to beginning any construction, or within twenty (20) calendar days after the approved plans are released by the City, the developer shall submit to the City of Hanford Engineering Division four (4) bond copies of the approved set of construction plans, and two (2) bound sets of the approved construction specifications, if any.

Bob Williams

Utilities Manager 559-585-2560

12/13/2022

Date



City of Hanford

Public Works Department

900 South 10th Ave. • Hanford, CA 93230-5234 • (559) 585-2550

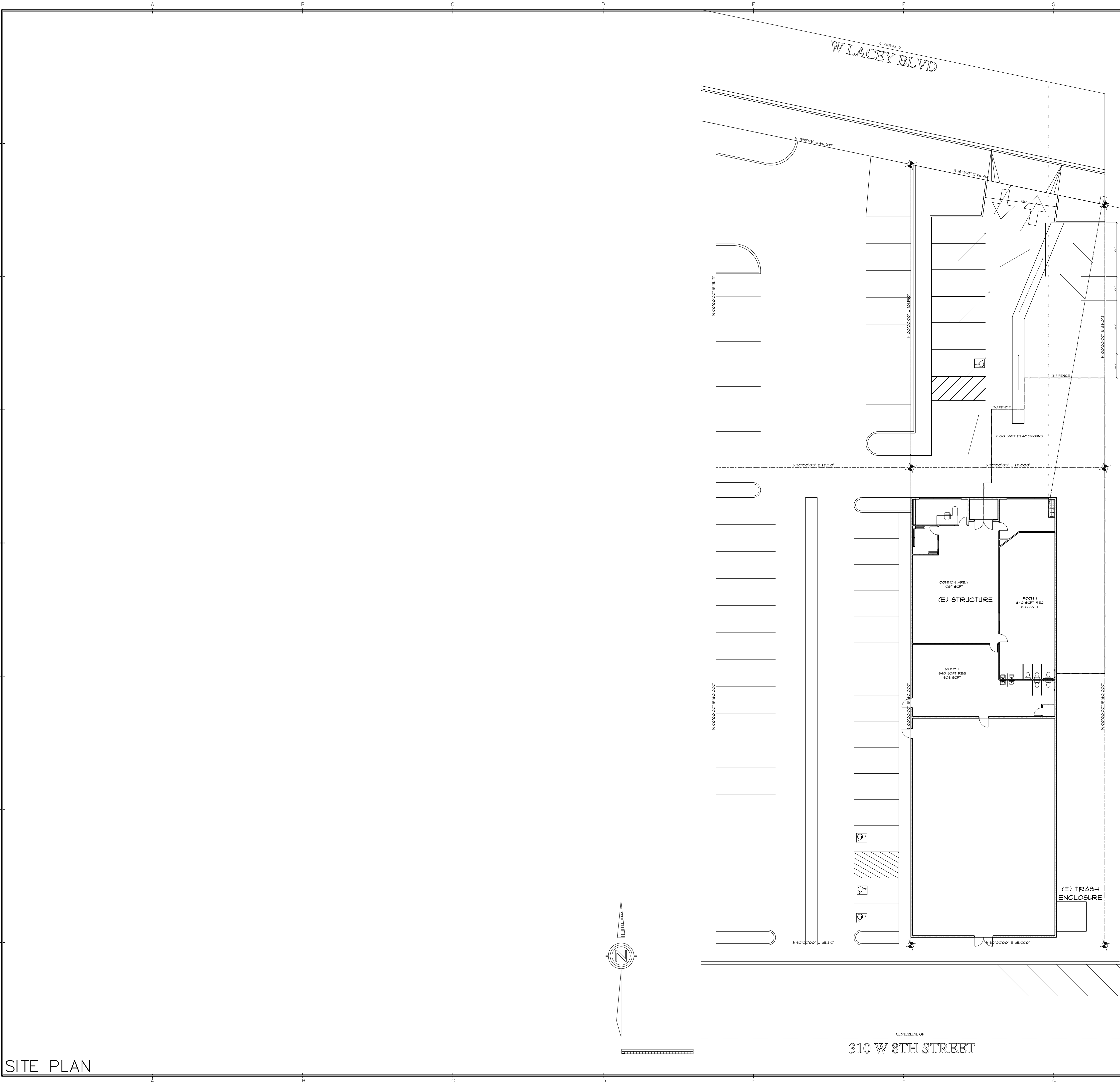
3. That within twenty (20) calendar days after all improvements have been constructed and accepted by the City, the developer shall submit to the City of Hanford Engineering Division one (1) reproducible and one (1) bond copy of the approved set of improvement construction plans revised to reflect all field revisions and marked "RECORD DRAWING".

Steve Coodey

12/13/2022

Assistant Engineer (559) 585-2582

Date



SITE PLAN

SITE SITE PLAN

SCOPE: REMODEL EXISTING SRTCTURE

SHEET INDEX

2K

BUILDING ADDRESS 315 W. LACEY BLVD
HANFORD CA 93230
OWNERS: SHARP PROPERTIES OF HANFORD
PO BOX 1264
(OWNER'S ADDRESS) HANFORD, CA 93232

SOIL CLASS "D"
SEISMIC IMPORTANCE FACTOR #1 36.294451 N, 119.342293 W SITE CLASS D - "STIFF SOIL" RISK CATEGORY I/II/III S ₁ = 0.824g S _{0.1} = 0.811g S _{0.2} = 0.541g S ₁ = 0.256g S _{0.1} = 0.483g S _{0.2} = 0.322g F ₀ = 0.84 F ₁ = 0.483

ZONE: MX-D
APN: 012-021-014
012-021-012
CONSTRUCTION TYPE:VB OCCUPANCY:R3,U
NUMBER OF STORIES:1 OVERALL HEIGHT:16'-8"
SEISMIC DESIGN CATEGORY:D RISK CATEGORY: II
ULTIMATE DESIGN WIND SPEED:110 MPH - EXPOSURE C
SETBACKS: FRONT - 0'
SIDE - 0'
REAR - 0'
NO EXISTING SPRINKLERS
NO NEW SPRINKLERS REQUIRED
NO NEW SOLAR REQUIRED

FLOOR AREA 3750 SQFT (E) BUILDING AREA
2472 (N) PLAYGROUND AREA

PROJECT INFORMATION

4K

- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF THE C.B.C. AND RESIDENTIAL CODE AS AMENDED BY LOCAL BUILDING AUTHORITIES.
- CONTRACTOR AND ALL SUB-CONTRACTORS SHALL CHECK ALL DIMENSIONS SHOWN ON THESE PLANS AGAINST CONDITIONS IN THE FIELD. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- CONTRACTOR MAY MAKE ADJUSTMENTS TO THE PLACEMENT OF THE BUILDING AS NECESSARY SO LONG AS ALL MINIMUM SETBACKS ARE OBSERVED.
- LOT SHALL BE GRADED TO DRAIN WATER AWAY FROM ALL FOUNDATIONS AT A SLOPE OF 5% WITHIN 10 FEET OF THE BUILDING (CRC R401.3)
4a. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL SLOPE AT A MINIMUM OF 2% AWAY FROM BUILDING.
- ON-SITE RETENTION OF WATER AND DRAINAGE OF WATER ACROSS OR ON TO ANY ADJACENT PROPERTY IS NOT ALLOWED. MAINTAIN A .5% SLOPE FROM REAR OF PROPERTY TO FRONT.
- PROVIDE STREET ADDRESS NUMERALS AT LEAST 4" HIGH W/ 1/2" STROKE ON CONTRASTING BACKGROUND, CLEARLY VISIBLE FROM THE STREET.
- FINISHED FLOOR ELEVATION TO BE ABOVE THE CROWN OF THE STREET. CHANGES FROM THE APPROVED PLANS DURING THE COURSE OF CONSTRUCTION SHALL CAUSE CONSTRUCTION TO BE SUSPENDED UNTIL SUCH TIME AS THE PLANS CAN BE AMENDED BY THE DESIGNER AND SUBMITTED TO THE BUILDING DEPT FOR REVIEW AND APPROVAL.

THE SOIL BEARING CAPACITY PER CRC TABLE R401.4.1 IS 1500 PSF
CONCRETE DESIGN STRENGTH PER CRC TABLE R402.2 IS 2500 PSF
MATERIAL DEAD LOADS PER CRC R301.2.2.1 IS 15 PSF ROOF 10 PSF FLOOR
MATERIAL LIVE LOADS PER TABLE R301.5 IS 40 PSF
WALL BRACING ADJ. FACTOR PER TABLE R602.10.3 IS 1

SITE NOTES

6K

- ALL WORK SHALL CONFORM TO THE 2019 EDITION OF THE CALIFORNIA RESIDENTIAL CODE, CA GREEN BUILDING STANDARDS CA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA ELECTRICAL CODE, RESIDENTIAL CODE, TITLE 24 AND ALL STATE AND LOCAL CODES.
- THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AT THE JOB SITE, AND SHALL BE SOLELY RESPONSIBLE FOR ALL QUANTITIES OF MATERIALS AND/OR EQUIPMENT REQUIRED TO PROPERLY COMPLETE THE WORK. ANY DAMAGE TO EXISTING PROPERTY THAT MAY OCCUR DURING THE COURSE OF WORK SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR.
- ROLE OF THE DRAFTSMAN:
 - THE DRAFTSMAN WAS RETAINED BY THE OWNER:
 - TO PREPARE SUFFICIENT DRAWINGS AND SPECIFICATIONS FOR REVIEW BY GOVERNMENTAL AGENCIES HAVING JURISDICTION, AND TO SECURE APPROVAL FOR ISSUING REQUIRED GENERAL BUILDING PERMIT.
 - TO PROVIDE ADDITIONAL CONSULTING SERVICES WHEN AND IF SO REQUIRED BY THE OWNER DURING THE CONSTRUCTION PHASE.
 - THE DRAFTSMAN WILL NOT PARTICIPATE IN OTHER CONSTRUCTION PHASE ACTIVITIES EXCEPT AS MAY BE REQUIRED BY LOCAL JURISDICTION.
 - THE DRAFTSMAN WILL ACCEPT NO FINANCIAL RESPONSIBILITY ARISING FROM ERRORS OR OMISSIONS CONTAINED IN THESE OR OTHER DOCUMENTS PREPARED BY THE DRAFTSMAN. THE BUILDING CONTRACTOR MUST REVIEW ALL DOCUMENTS FOR ERRORS PRIOR TO ACCEPTANCE OF DOCUMENTS.

GENERAL NOTES

8K

Revisions

Prefab innovations
559.582.3871

ADDRESS:
340 West 8th Street
Hanford, CA 93230
Alex Panzera
www.PrefabInnovations.com
APanzera@prefab.com

DESCRIPTION FOR:
SHENANEAGANS LLC
310 W 8TH STREET
HANFORD, CA 93230
(559) 203-5204

Date
22 MAR 2023
Scale
1/16" = 1' U.O.N.

SHEET NUMBER
SITE

Notice of Exemption 2023-100

To: ☐ Office of Planning and Research
P.O. Box 3044, Room 212
Sacramento, CA 95812-3044

☒ County Clerk
County of Kings
Kings County Government Center
Hanford, CA 93230

From: City of Hanford
317 North Douty Street
Hanford, CA 93230

Project Title: Conditional Use Permit 0008-23

Project Location – 315 W. Lacey Boulevard (APN 012-021-012 and -014)

Project Location – City: Hanford **Project Location – County:** Kings County

Description of Nature, Purpose and Beneficiaries of Project: Conditional Use Permit No. 0008-23, a request to establish a day care facility for over 14 persons in an existing building in the MX-D Downtown Mixed Use zone district

Name of Public Agency Approving Project: City of Hanford, Planning Division

Name of Person or Agency Carrying Out Project: Alex Panzera for Shenanigans, LLC

Exempt Status: **(check one)**

- ☐ Ministerial (Sec. 21080(b)(1); 152698);
☐ Declared Emergency (Sec. 21080(b)(3); 15269 (a));
☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
☒ Categorical Exemption: State type and section number: 15301 Existing Facilities
☐ Statutory Exemption. State code number:

Reasons why project is exempt:

The City of Hanford determined the project to be exempt from environmental review pursuant to Section 15301 of the California Environmental Quality Act (CEQA) Guidelines. Section 15301 states that Class 1 exemptions consist of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use. This project involves the permitting of an existing private structure, involving negligible or no expansion of the existing or former use.

Lead Agency

Contact Person: Gabrielle Myers Area Code/ Telephone: (559) 585-2578

Signature: _____ Date: October 24, 2023 Title: Senior Planner

☒ Signed by Lead Agency Date received for filing at OPR: _____
☐ Signed by Applicant