The City of Hanford
CALIFORNIA

AGENDA

PLANNING COMMISSION
of the
CITY OF HANFORD

COUNCIL CHAMBERS
400 N. Douty St.
7:00 PM, Tuesday, February 26, 2019

CALL TO ORDER

ROLL CALL

INVOCATION

FLAG SALUTE

PUBLIC COMMENT

This is the time for citizens to comment on subject matters not on the agenda and that are within the jurisdiction of the Commission. This is also the public's opportunity to request an item from the Consent Calendar be pulled for discussion purposes or to comment on any item on the agenda. Comments related to Public Hearing items will be heard at the time the item is discussed. A maximum of ***three minutes*** *is allowed for each speaker. Please begin your comments by stating your name and providing your city of residence.*

PUBLIC HEARING

1. **Conditional Use Permit No. 2018-14, a request by Kings Community Action Organization, Inc. to allow an expansion of an existing large-daycare facility, over 14 children, in the R-M Medium-Density Residential zone district. The project is located at the northwest corner of Hanford Armona Road and 12th Avenue, 10918 12th Avenue (APN 011-010-016 and 011-010-015). (Staff recommends continuance of the item to March 12, 2019).**

2. **Planned Unit Development No. 2019-01, a request by New Rooms Enterprise to allow cross-access between sites, a shared driveway, and reduced lot frontage for the parcels located at APN 011-030-002, 011-030-003, and 011-030-004 in the C-S Service Commercial zone district. Conditional Use Permit No. 2019-01, a request by New Rooms Enterprise to allow a four-story, 82-room hotel in the C-S Service Commercial zone district. The project is located east of Aquifer Drive, north of Glendale Avenue (APN 011-030-002, 011-030-003, and 011-030-004).**

DIRECTOR'S COMMENTS

COMMISSIONERS' ITEMS OF INTEREST

ADJOURNMENT

Materials related to an item on this Agenda submitted to the Planning Commission after distribution of the agenda packet are available to public inspection in the Planning Division Office located at 317 N. Douty Street, Hanford, California 93230, during normal business hours. Such documents are also available at the city's website, www.cityofhanfordca.com subject to staff's ability to post documents before the meeting.

If you need a disability-related modification or accommodation, including auxiliary aids or services, to participate in this meeting, please contact the Planning Division's office, 559-585-2580, 317 N. Douty Street, Hanford, California 93230, at least 2 days prior to the meeting {28 CFR 35.102.35.104 ADA Title II}

APPEALS:
Any action of the Planning Commission, which is a final project decision, may be appealed to the City Council by the applicant or any adversely affected person. To file an appeal, an appeal application and filing fee of $1,000.00 must be submitted to the Community Development Department, 317 N. Douty Street, Hanford, California, within ten (10) days following the date of the final decision of the Planning Commission.

AGENDA
STAFF REPORT

MEETING DATE: 2/26/2019	**AGENDA SECTION:** 1

SUBJECT:
Conditional Use Permit No. 2018-14, a request by Kings Community Action Organization, Inc. to allow an expansion of an existing large-daycare facility, over 14 children, in the R-M Medium-Density Residential zone district. The project is located at the northwest corner of Hanford Armona Road and 12th Avenue, 10918 12th Avenue (APN 011-010-016 and 011-010-015). (Staff recommends continuance of the item to March 12, 2019).

See the staff report, attached.

FISCAL IMPACT:

ATTACHMENTS:
Staff Report - Continuance Request

CITY OF HANFORD PLANNING COMMISSION
STAFF REPORT
Tuesday, February 26, 2019

PROJECT: **Conditional Use Permit No. 2018-14,** a request by Kings Community Action Organization, Inc. to allow an expansion of an existing large-daycare facility, over 14 children, in the R-M Medium-Density Residential zone district. (Staff recommends continuance to March 12, 2019)

LOCATION: The project is located at the northwest corner of Hanford Armona Road and 12th Avenue, 10918 12th Avenue (APN 011-010-016 and 011-010-015).

PLANNER: Gabrielle Myers, Associate Planner

STAFF RECOMMENDATION

Staff recommends that the Planning Commission:

1. Continue the Public Hearing for Conditional Use Permit No. 2018-14 to the next Planning Commission meeting on March 12, 2019.

RECOMMENDED MOTION

1. I move to continue the Public Hearing for Conditional Use Permit No. 2018-14 to the next Planning Commission meeting on March 12, 2019.

DISCUSSION

Following publication of the public hearing notice, the applicant requested a deferral of the off-site improvements along 12th Avenue and Hanford-Armona Road to a future phase of development. In order for staff to adequately address the request through conditions of approval, staff is requesting to continue the project to the next Planning Commission meeting on March 12, 2019. Continuance to a date certain will not require the re-noticing of the public hearing.

Attachment: Staff Report - Continuance Request (KCAO - CUP 2018-14)

AGENDA
STAFF REPORT

MEETING DATE: 2/26/2019	**AGENDA SECTION:** 2

SUBJECT:
Planned Unit Development No. 2019-01, a request by New Rooms Enterprise to allow cross-access between sites, a shared driveway, and reduced lot frontage for the parcels located at APN 011-030-002, 011-030-003, and 011-030-004 in the C-S Service Commercial zone district. Conditional Use Permit No. 2019-01, a request by New Rooms Enterprise to allow a four-story, 82-room hotel in the C-S Service Commercial zone district. The project is located east of Aquifer Drive, north of Glendale Avenue (APN 011-030-002, 011-030-003, and 011-030-004).

See staff report, attached.

FISCAL IMPACT:

ATTACHMENTS:
Staff Report - Planned Unit Development No. 2019-01 and Conditional Use Permit No. 2019-01
Resolution No. 2019-03
Resolution No. 2019-04
Attachment 1 - Site Plan Review No. 2019-02
Attachment 2 - Site Plan Review 2019-02 Approval Letter
Attachment 3 - Elevations
Attachment 4 - Notice of Exemption

CITY OF HANFORD PLANNING COMMISSION
STAFF REPORT
Tuesday, February 26, 2019

PROJECT: **Planned Unit Development No. 2019-01,** a request by New Rooms Enterprise to allow cross-access between sites, a shared driveway, and reduced lot frontage for the parcels located at APN 011-030-002, 011-030-003, and 011-030-004 in the C-S Service Commercial zone district.

Conditional Use Permit No. 2019-01, a request by New Rooms Enterprise to allow a four-story, 82-room hotel in the C-S Service Commercial zone district.

LOCATION: The project is located east of Aquifer Drive, north of Glendale Avenue (APN 011-030-002, 011-030-003, and 011-030-004).

STAFF RECOMMENDATION

Staff recommends that the Planning Commission:

1. Adopt Resolution No. 2019-03, approving Planned Unit Development No. 2019-01.

2. Adopt Resolution No. 2019-04, approving Conditional Use Permit No. 2019-01.

RECOMMENDED MOTION

1. I move to adopt Resolution No. 2019-03, approving Planned Unit Development No. 2019-01.

2. I move to adopt Resolution No. 2019-04, approving Conditional Use Permit No. 2019-01.

PROJECT DESCRIPTION

The project is a request by New Rooms Enterprises, LLC, to allow the development of a four-story, 47,930 sq. ft., 82-room hotel on a vacant site in the C-S Service Commercial zone district. The project will have a shared driveway and cross-access to a neighboring site with reduced street frontage.

Project Location

The project is located east of Aquifer Drive, north of Glendale Avenue (APN 011-030-002, 011-030-003, and 011-030-004).The project site is designated as Service Commercial by the General Plan. The zoning for the property is C-S Service Commercial.

Entitlement

Site Plan Review

The applicant submitted Site Plan Review No. 2019-02 for the project site, proposing to develop the vacant site into a four-story, 47,930 sq. ft., 82-room hotel with a conference room and meeting room; see Site Plan Review No. 2019-02, **Attachment 1.** Site Plan Review No. 2019-02 was

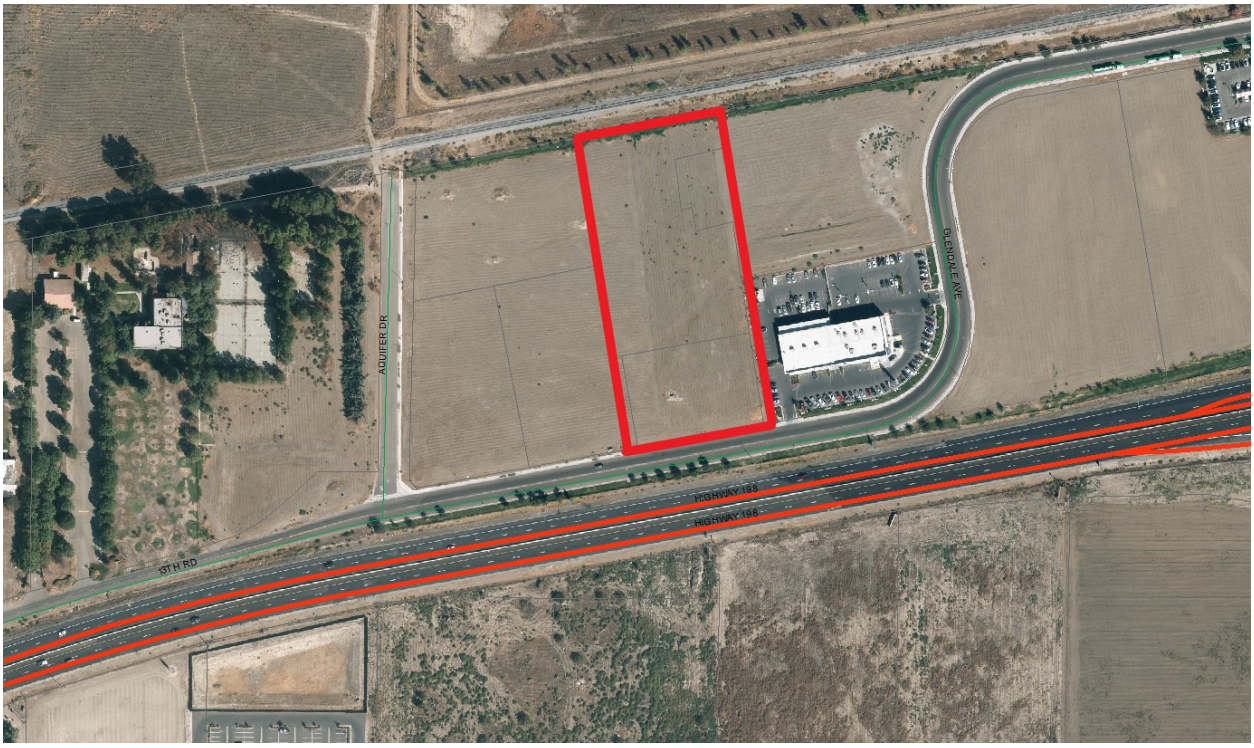
reviewed by the Site Plan Review Committee. Conditions of approval appear in the approval letter, **Attachment 2.** All conditions of approval cited in the site plan review approval letter are also conditions of approval of this Conditional Use Permit application.

Renderings of the proposed hotel are attached (**Attachment 3**).

Parcel Map Waiver

The applicant will be submitting a lot-line adjustment, in order to merge and adjust the lot lines for APN 011-030-002, 011-030-003, and 011-030-004, creating two parcels with a shared drive. The resulting parcels will be 1.98 acres (86,266 sq. ft.) for the parcel the hotel is on and 2.02 acres (87,974 sq. ft.) for the remaining parcel. The lot layout is presented on the site plan, **Attachment 1.** Recordation of a parcel map waiver is required upon final building inspection of the hotel.

Figure 1: Land Use
(Property outlined in red)



Attachment: Staff Report - Planned Unit Development No. 2019-01 and Conditional Use Permit No. 2019-01 (PUD 2019-01, CUP 2019-01 Fairfield

Figure 2: General Plan Designation
Service Commercial
(Property outlined in bold)

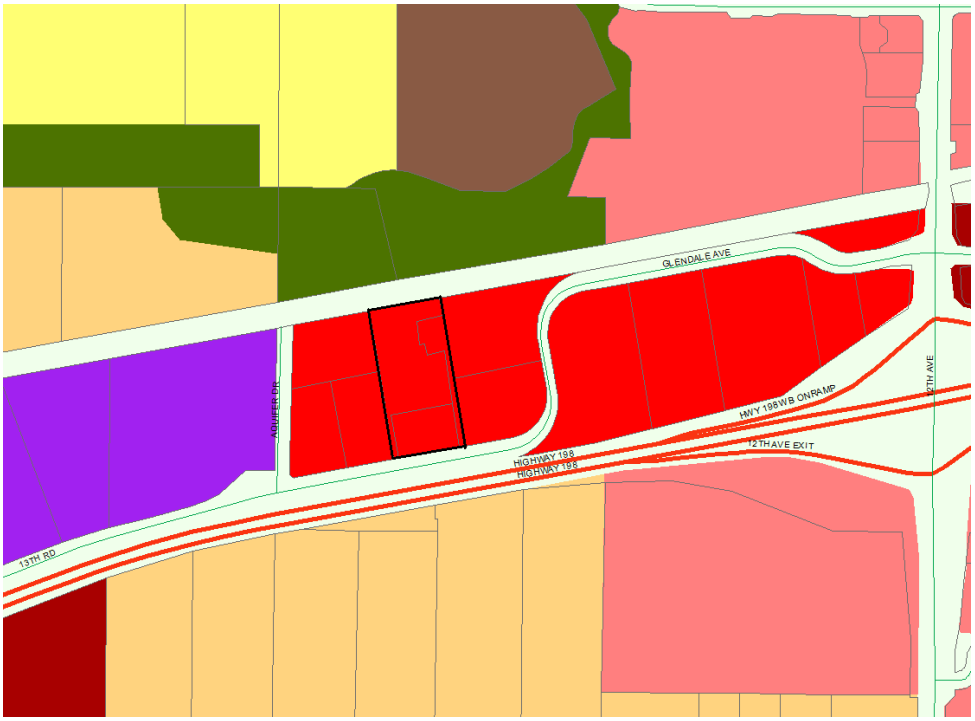
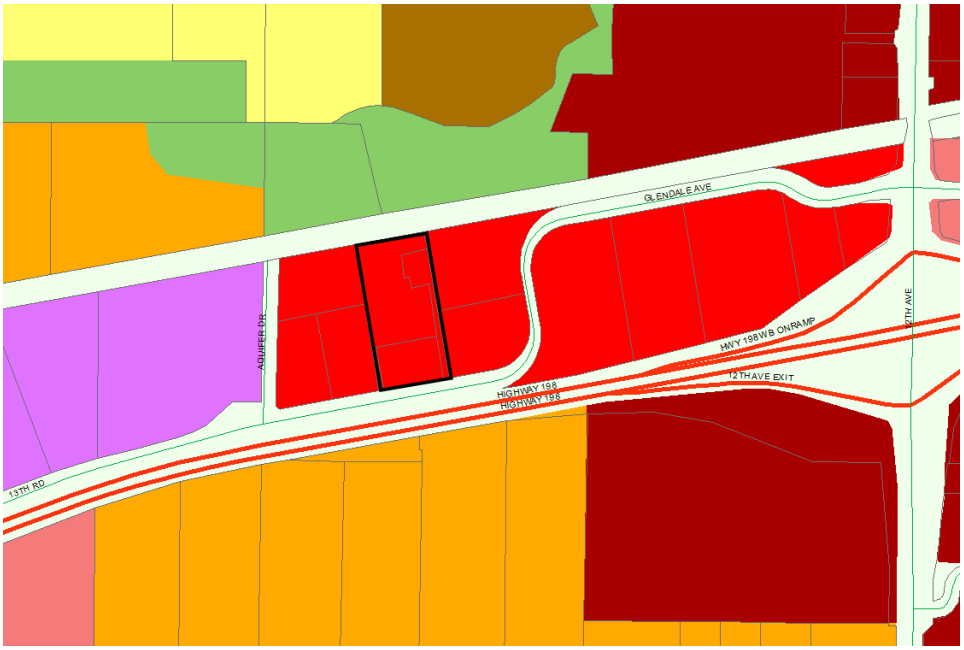


Figure 3: Zoning Designation
C-S Service Commercial
(Property outlined in bold)



BACKGROUND INFORMATION

General Plan Designation

The General Plan designates the property as Service Commercial. The property is zoned C-S Service Commercial, which corresponds with the General Plan Designation. According to General Plan Policy L51, the purpose of the Service Commercial land use designation is to provide for establishments that engage in servicing equipment, materials, products and related sales and travel conveniences, but which do not require the manufacturing, assembly, packaging or processing of articles or merchandise for distribution. In accordance with Policy L52, typical uses in Service Commercial include a broad range of commercial activities, such as businesses which have both retail and service components. Among these are uses such as vehicle sales and service; auto rental and equipment rental; motels; restaurants (including fast food); service stations; car washes; building material supply; warehousing; wholesale trade; contractors, suppliers, small equipment yards; and other similar uses. The applicant's request to allow the use of a hotel in the Service Commercial land use designation is consistent with the General Plan, as it proposes an establishment engaged in travel conveniences.

Zoning Designation

Conditional Use Permit

The applicant seeks to allow a hotel on a vacant property. According to the Commercial, Office, and Industrial Zone Use Table, presented in Table 17.08.030 of the Hanford Municipal Code, the use of a hotel or motel is subject to approval of a conditional use permit by the Planning Commission in the C-S Service Commercial zone district.

A "hotel or motel," means a building or group of buildings in one complex consisting of multiple guest rooms intended or designed to be occupied on a temporary basis, and typically providing ancillary services such as a restaurant, lounge, pool or exercise room, meeting rooms, and/or other personal services. Alcoholic beverages served to overnight guests outside of a restaurant or bar/lounge typically requires an ABC Type 70 license. The proposed hotel features a pool, meeting rooms, and plans to serve breakfast. No other services are proposed.

Figure 4:
Land Use Table

Commercial, Office, and Industrial Use Table

P = Use is Permitted by Right C = Use Requires Conditional Use Permit
A = Use Requires Administrative Use Permit T = Use Requires Temporary Use Permit
Blank = Use is Not Allowed

	Land Uses	Commercial Zones				Mixed Use Zones			Industrial and Office Zones				Other Zones			
		C-N	C-R	C-S	C-H	MX-N	MX-C	MX-D	O-R	O	I-L	I-H	AP	PF	CO	Specific Land Use Standards (See identified Section)
H2	Bed and breakfast inn				C		C	C	C							17.60.040
H3	Boarding or rooming house				C	C	P	P								
H4	Emergency shelter								P					P		
H5	Employee housing for six (6) or fewer employees					P	P	P	P							
H6	Hotel or motel		C	C	P		P	P								

PROJECT EVALUATION

Planned Unit Development No. 2019-01

In accordance with Section 17.82.010 of the Hanford Municipal Code, planned unit developments are encouraged to achieve a more functional, aesthetically pleasing, and harmonious living and working environment within the City, that otherwise might not be possible by strict adherence to the provisions of the Hanford Municipal Code. In certain instances, the objectives of the Municipal Code may be achieved by development that does not conform in all respects with the land use pattern designated on the zoning map or in the zone districts prescribed.

PUDs may be utilized to achieve one or more of the following objectives: (a checkmark denotes the applicable objectives sought by the applicant)

- To permit a site within more than one zone district to mix the permitted or conditionally permitted land uses of both zones within the site without regard to the zone district boundary;

Attachment: Staff Report - Planned Unit Development No. 2019-01 and Conditional Use Permit No. 2019-01 (PUD 2019-01, CUP 2019-01 Fairfield

- To permit development intensity greater than would otherwise be permitted by the implementation of the standards of the zone district in which the site is located;

✓ To permit the lot patterns on size, shape, and layout that would not otherwise be permitted by the standards of the zone district in which the site is located;

- To permit variations to the standard local street cross-sections;

- To permit private streets and gated neighborhoods

- To permit the implementation of the mixed use provisions in the MX-N, MX-C, or MX-D zone districts.

Planned Unit Development No. 2019-01 is a request to deviate from the standards of the Hanford Municipal Code for the C-S Service Commercial zone district to allow cross-access between sites, a shared driveway, and reduced lot frontage for the parcels located at APN 011-030-002, 011-030-003, and 011-030-004. One proposed parcel will have 20 feet of street frontage, as a result. In the C-S Service Commercial zone district, a minimum forty feet of street frontage is required, unless a reciprocal use agreement for shared common access and parking areas is filed with the Kings County Recorder's Office. Shared access of the drive is proposed. Shared access is achieved through the planned unit development process.

Planned Unit Development No. 2019-01, Conditional Use Permit No. 2019-01, and Site Plan Review No. 2019-02 have been evaluated for conformance with the standards of the C-S Service Commercial zone district.

<u>Conformance with the standards of the C-S Service Commercial zone district</u>

17.20.030 Site Area

In the Service Commercial zone district, the minimum site area shall be 5,000 square feet, unless a smaller site is approved with a conditional use permit, in accordance with Chapter 17.80.

The applicant proposes to merge and adjust the lot lines for APN 011-030-002, 011-030-003, and 011-030-004, creating two parcels with a shared drive. The resulting parcels will be 1.98 acres (86,266 sq. ft.) for the parcel the hotel is on and 2.02 acres (87,974 sq. ft.) for the remaining parcel. Each proposed parcel exceeds the minimum site area required for the C-S Service Commercial zone district.

17.20.040 Lot Dimensions

The minimum lot frontage in the C-S Service Commercial zone district shall be 40 feet, unless a reciprocal-use agreement for shared common access and parking areas is recorded with the Kings County Recorder's Office. The applicant proposes to merge and adjust the lot lines for APN 011-030-002, 011-030-003, and 011-030-004, creating two parcels with a shared drive. The hotel's parcel will have 269.58 feet of street frontage on Glendale Avenue. The remaining parcel will have 20 feet of frontage along Glendale Avenue. Due to the shared drive and reduced street frontage, the applicant has applied for Planned Unit Development No. 2019-01.

In accordance with Section 17.82.010 of the Hanford Municipal Code, planned unit developments are encouraged to achieve a more functional, aesthetically pleasing, and harmonious living and working environment within the City, that otherwise might not be possible by strict adherence to the provisions of the Hanford Municipal Code. In certain instances, the objectives of the Municipal Code may be achieved by development that does not conform in all respects with the land use pattern designated on the zoning map or in the zone districts prescribed. The planned unit development process can be used to permit lot pattern layouts that would otherwise not be permitted by the standards of the C-S Service Commercial zone district. One goal for new development in the Service Commercial zone district is to minimize the number of driveways on public streets by sharing driveways. By permitting a shared driveway between the hotel's parcel and the remaining parcel through the planned unit development process, the applicant is achieving a goal of the C-S Service Commercial zone district.

The request to deviate from the required lot dimensions through the planned unit development process can be supported by staff.

17.20.050 Coverage

The maximum coverage of the lot shall be determined by the combined building setback area requirements, open space requirements, and off-street parking and loading requirements. All required building setbacks, landscaping, off-street parking and loading requirements were evaluated and mandated as part of the site plan review process.

17.20.060 Building Setback Area

No structure is permitted to be placed within a building setback area.

In the C-S Service Commercial zone district, the front building setback area shall be a minimum of 15 feet, except that in the C-S zones bounded by State Route 198, 10th Avenue, 11th Avenue, and Sixth Street, there is no minimum front building setback area requirement. The site is not bounding by State Route 198, 10th Avenue, 11th Avenue, or Sixth Street; therefore, there shall be a minimum 15-foot setback for the sites. The hotel is setback 38.33 feet from the front property line. There is not a structure on the remaining parcel. The front-yard setback is met and exceeded.

In the C-S Service Commercial zone district, the rear and side building setbacks may be zero feet from the rear and side lot lines, except that where the rear or side lot line abuts a public street or an R-L, R-M, R-H, OR, O, PF, AP, or CO zone district, the setback shall be 15 feet. The rear and side property lines do not abut a public street or an R-L, R-M, R-H, OR, O, PF, AP, or CO zone district; therefore, a zero-setback is acceptable.

All building setback requirements are met for the project. Future development of the remaining parcel will be subject to the building setbacks presented.

17.20.070 Distances Between Structures

The minimum distance between a structure used solely for residential purposes and another structure shall be 10 feet, except as provided by the building code. There are no residential structures proposed on site.

17.20.080 Height of Structures

The maximum height of structures in the C-S Service Commercial zone district is 50 feet. The four-story hotel will be 49.83 feet tall at the top of the parapet. The top of the tower will be 53.5 feet. In accordance with Section 17.50.190 Exceptions to Height Limitations – Penthouses or roof structures for the housing of elevators, stairways, tanks, ventilating fans, air condition equipment, or similar equipment required to operate and maintain buildings, and fire and parapet walls, skylights, towers, spires, cupolas, road signs (where permitted), flagpoles, chimneys, smokestacks, television and radio masts, or similar structures may be erected above the height limit, but shall not be allowed for the purpose of providing additional floor space. The tower, which exceeds the 50-foot height limitation is an exception to the height limitation and therefore, does not contribute to the height of the structure.

The hotel structure does not exceed the height maximum of the District. Future development of the remaining parcel is subject to the height limitation of the District.

17.20.090 Driveways

Whenever possible, developments in the C-S Service Commercial zone district shall share driveways to minimize the number of driveways on public streets.

The applicant proposes to merge and adjust the lot lines for APN 011-030-002, 011-030-003, and 011-030-004, creating two parcels with a shared drive. The hotel's parcel will have 269.58 feet of street frontage on Glendale Avenue. The remaining parcel will have 20 feet of frontage along Glendale Avenue. Due to the shared drive and reduced street frontage, the applicant has applied for Planned Unit Development No. 2019-01.

In accordance with Section 17.82.010 of the Hanford Municipal Code, planned unit developments are encouraged to achieve a more functional, aesthetically pleasing, and harmonious living and working environment within the City, that otherwise might not be possible by strict adherence to the provisions of the Hanford Municipal Code. In certain instances, the objectives of the Municipal Code may be achieved by development that does not conform in all respects with the land use pattern designated on the zoning map or in the zone districts prescribed. The planned unit development process can be used to permit lot pattern layouts that would otherwise not be permitted by the standards of the C-S Service Commercial zone district. One goal for new development in the Service Commercial zone district is to minimize the number of driveways on public streets by sharing driveways. By permitting a shared driveway between the hotel's parcel and the remaining parcel through the planned unit development process, the applicant is achieving a goal of the C-S Service Commercial zone district.

17.20.100 Off-Street Parking

The applicant proposes 92 parking stalls on site, five of which are ADA-accessible, as shown on approved Site Plan Review No. 2019-02 (**Attachment 1)**. This exceeds the requirement of the Hanford Municipal Code Section 17.54.040 for hotels, which requires one space per guest room, plus one space per employee.

That the applicant shall provide a minimum of 87 parking stalls on site, four of which are ADA accessible, based on the ratio one stall per guest room, plus one stall per employee.

Calculation:

82 bedrooms + 5 full-time employees = 87 parking stalls minimum

Parking areas shall not be closer than five feet to any front or side lot line and the area between the lot line and parking area shall be landscaped. Parking is separated from the front property line by 20 feet of landscaping. Parking is separated from the side lot lines by a minimum of five feet of landscaping.

Future development of the remaining parcel must adhere to the requirements of the Hanford Municipal Code pertaining to off-street parking.

17.20.110 Usable open space

There is not a minimum requirement for usable open space in the C-S Service Commercial zone district.

17.20.120 Landscaping

In the C-S Service Commercial zone district, landscaping shall be provided and permanently maintained in a setback area not less than 15 feet from a lot line adjoining a street, except where the setback area is covered by structures, parking, or driveways.

A minimum of 15 feet of landscaping is provided along Glendale Avenue, except where there is a driveway.

All requirements of the C-R Regional Commercial zone district, prescribed by Chapter 17.18 of the Hanford Municipal Code, are satisfied.

FINDINGS FOR APPROVAL

Planned Unit Development No. 2019-01

Pursuant to Section 17.82.060 of the Hanford Municipal Code, six findings must be made before approval of the planned unit development application:

1. That the location and design of the planned unit development is in accordance with the purpose of this title.

   Analysis: Location - That in accordance with Section 17.82.050 of the Hanford Municipal Code, a planned unit development shall be a minimum five-acre site area, except that there shall be no minimum site area requirements if the site is an infill development site. An infill development site means a parcel or group of parcels that make up a site that is vacant or underutilized and is surrounded by developed land or parcels on at least seventy-five percent of its perimeter. Infill development sites include previously developed sites that may/will be redeveloped. The property is substantially surrounded on all sides

by development: railroad and slough to the north, a car dealership to the east, a collision repair shop to the west, and Glendale Avenue and Highway 198 to the south.

Design and Purpose - That planned unit developments are encouraged to achieve a more functional, aesthetically pleasing, and harmonious living and working environment within the City, that otherwise might not be possible by strict adherence to the provisions of the municipal code. In certain instances, the objectives of the municipal code may be achieved by development that does not conform in all respects with the land use pattern designated on the zoning map or in the zone district prescribed. The planned unit development seeks to:

- Permit lot sizes, shapes, and layouts that would not otherwise be permitted by the standards of the C-S Service Commercial zone district.

The design of Planned Unit Development No. 2019-01 is consistent with the objectives of Section 17.82.

2. That the planned unit development is being proposed to achieve one or more of the objectives identified in Section 17.82.030.

   Analysis: That the planned unit development is requested, in order to achieve the following objectives identified in Section 17.82.030:

   ✓ To permit the lot patterns on size, shape, and layout that would not otherwise be permitted by the standards of the zone district in which the site is located;

3. That the location and design of the planned unit development and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare of the community to properties or improvements in the vicinity.

   Analysis: Location - The project is located east of Aquifer Drive, north of Glendale Avenue (APN 011-030-002, 011-030-003, and 011-030-004). The project is located in an area substantially surrounded by development: railroad and slough to the north, a car dealership to the east, a collision repair shop to the west, and Glendale Avenue and Highway 198 to the south. The location of the planned unit development will not be detrimental to the public health, safety, or welfare of the community to properties or improvements in the vicinity. The site is designated for Service Commercial development by the General Plan and has been evaluated for conformance with the standards of the Hanford Municipal Code.

   Design and Conditions of Operation – The City of Hanford Building Division is responsible for ensuring that future construction of the site follows adopted building codes, thus reducing exposures to accidents to the general public. The project has been reviewed by the various City departments, including the County Health Department, Public Works Department, Fire Department, and Building Division. Any improvements required for public health and safety were applied to the proposal and required in the conditions of approval.

4. That the location and design of the planned unit development will not generate more traffic than the streets in the vicinity can carry without congestion and will not overload utilities.

Analysis: The project has been reviewed by the Public Works Department and improvements and conditions of approval have been placed on the project in order to mitigate the effects of the project on traffic, streets, and utilities.

5. That the planned unit development's population density, site area and dimensions, site coverage, yard spaces, height of structures, distances between structures, off-street parking and off-street loading facilities, landscaped areas and street design will produce an environment of stable and desired character consistent with the purpose of this title.

   Analysis: Density - "Density" means the number of dwelling units per gross acre, unless otherwise stated, for residential uses. Residential development is not proposed, nor allowed, for the site.

   Site area – The applicant proposes to merge and adjust the lot lines for APN 011-030-002, 011-030-003, and 011-030-004, creating two parcels with a shared drive. The resulting parcels will be 1.98 acres (86,266 sq. ft.) for the parcel the hotel is on and 2.02 acres (87,974 sq. ft.) for the remaining parcel. Each proposed parcel exceeds the minimum site area required for the C-S Service Commercial zone district.

   Lot Frontage - The minimum lot frontage in the C-S Service Commercial zone district shall be 40 feet, unless a reciprocal-use agreement for shared common access and parking areas is recorded with the Kings County Recorder's Office. The applicant proposes to merge and adjust the lot lines for APN 011-030-002, 011-030-003, and 011-030-004, creating two parcels with a shared drive. The hotel's parcel will have 269.58 feet of street frontage on Glendale Avenue. The remaining parcel will have 20 feet of frontage along Glendale Avenue. Due to the shared drive and reduced street frontage, the applicant has applied for Planned Unit Development No. 2019-01. A reciprocal use agreement is required for the shared common access to the site, which will ensure an environment of stable character consistent with the Hanford Municipal Code.

   Coverage - The maximum coverage of the lot shall be determined by the combined building setback area requirements, open space requirements, and off-street parking and loading requirements. All required building setbacks, landscaping, off-street parking and loading requirements were evaluated and mandated as part of the site plan review process.

   Setbacks - No structure is permitted to be placed within a building setback area. In the C-S Service Commercial zone district, the front building setback area shall be a minimum of 15 feet, except that in the C-S zones bounded by State Route 198, 10th Avenue, 11th Avenue, and Sixth Street, there is no minimum front building setback area requirement. The site is not bounded by State Route 198, 10th Avenue, 11th Avenue, or Sixth Street; therefore, there shall be a minimum 15-foot setback for the sites. The hotel is setback 38.33 feet from the front property line. There is not a structure on the remaining parcel. The front-yard setback is met and exceeded.

   In the C-S Service Commercial zone district, the rear and side building setbacks may be zero feet from the rear and side lot lines, except that where the rear or side lot line abuts a public street or an R-L, R-M, R-H, OR, O, PF, AP, or CO zone district, the setback shall be 15 feet. The rear and side property lines do not abut a public street or an R-L, R-M, R-H, OR, O, PF, AP, or CO zone district; therefore, a zero-setback is acceptable.

All building setback requirements are met for the project. Future development of the remaining parcel will be subject to the building setbacks presented.

Distances Between Structures - The minimum distance between structures used solely for residential purposes and another structure shall be 10 feet, except as provided by the building code. There are no residential structures proposed on site.

Height of Structures - The maximum height of structures in the C-S Service Commercial zone district is 50 feet. The four-story hotel will be 49.83 feet tall at the top of the parapet. The top of the tower will be 53.5 feet. In accordance with Section 17.50.190 Exceptions to Height Limitations – Penthouses or roof structures for the housing of elevators, stairways, tanks, ventilating fans, air condition equipment, or similar equipment required to operate and maintain buildings, and fire and parapet walls, skylights, towers, spires, cupolas, road signs (where permitted), flagpoles, chimneys, smokestacks, television and radio masts, or similar structures may be erected above the height limit, but shall not be allowed for the purpose of providing additional floor space. The tower, which exceeds the 50-foot height limitation is an exception to the height limitation and therefore, does not contribute to the height of the structure. The hotel structure does not exceed the height maximum of the District. Future development of the remaining parcel is subject to the height limitation of the District.

Driveways - Whenever possible, developments in the C-S Service Commercial zone district shall share driveways to minimize the number of driveways on public streets. The applicant proposes to merge and adjust the lot lines for APN 011-030-002, 011-030-003, and 011-030-004, creating two parcels with a shared drive. The hotel's parcel will have 269.58 feet of street frontage on Glendale Avenue. The remaining parcel will have 20 feet of frontage along Glendale Avenue. Due to the shared drive and reduced street frontage, the applicant has applied for Planned Unit Development No. 2019-01. In accordance with Section 17.82.010 of the Hanford Municipal Code, planned unit developments are encouraged to achieve a more functional, aesthetically pleasing, and harmonious living and working environment within the City, that otherwise might not be possible by strict adherence to the provisions of the Hanford Municipal Code. In certain instances, the objectives of the Municipal Code may be achieved by development that does not conform in all respects with the land use pattern designated on the zoning map or in the zone districts prescribed. The planned unit development process can be used to permit lot pattern layouts that would otherwise not be permitted by the standards of the C-S Service Commercial zone district. One goal for new development in the Service Commercial zone district is to minimize the number of driveways on public streets by sharing driveways. By permitting a shared driveway between the hotel's parcel and the remaining parcel through the planned unit development process, the applicant is achieving a goal of the C-S Service Commercial zone district.

Off-Street Parking - The applicant proposes 92 parking stalls on site, five of which are ADA accessible, as shown on approved Site Plan Review No. 2019-02 (**Attachment 1)**. This exceeds the requirement of the Hanford Municipal Code Section 17.54.040 for hotels, which requires one space per guest room, plus one space per employee.

That the applicant shall provide a minimum of 87 parking stalls on site, four of which are ADA accessible, based on the ratio one stall per guest room, plus one stall per employee.

Calculation:

82 bedrooms + 5 full-time employees = 87 parking stalls minimum

Parking areas shall not be closer than five feet to any front or side lot line and the area between the lot line and parking area shall be landscaped. Parking is separated from the front property line by 20 feet of landscaping and from the side lot lines by a minimum of five feet of landscaping. Future development of the remaining parcel must adhere to the requirements of the Hanford Municipal Code pertaining to off-street parking.

Landscaping - In the C-S Service Commercial zone district, landscaping shall be provided and permanently maintained in a setback area not less than 15 feet from a lot line adjoining a street, except where the setback area is covered by structures, parking, or driveways. A minimum of 15 feet of landscaping is provided along Glendale Avenue, except where there is a driveway.

The deviations proposed under Planned Unit Development No. 2019-01 are consistent with the purposes of Section 17.82 Planned Unit Developments. The project would provide a stable and desired character by minimizing new driveways and sharing access, through a reciprocal-use agreement for shared use of the driveway.

6. That the combination of different dwelling types, architectural appearance, and/or varieties of land uses in the development will complement each other and harmonize with the existing and proposed land uses in the vicinity.

   ANALYSIS: In accordance with Section 17.20.090 of the Hanford Municipal Code, whenever possible, developments in the C-S Service Commercial zone district shall share driveways to minimize the number of driveways on public streets. The applicant proposes to merge and adjust the lot lines for APN 011-030-002, 011-030-003, and 011-030-004, creating two parcels with a shared drive. The hotel's parcel will have 269.58 feet of street frontage on Glendale Avenue. The remaining parcel will have 20 feet of frontage along Glendale Avenue. By permitting a shared driveway between the hotel's parcel and the remaining parcel through the planned unit development process, the applicant is achieving a goal of the C-S Service Commercial zone district. The parcels will be ensured access through a recordation of a reciprocal use agreement through the Kings County Recorder's Office for shared use of the driveway.

Conditional Use Permit No. 2019-01

In taking action on a Conditional Use Permit, the Planning Commission must make the appropriate findings, in accordance with Section 17.80.030 of the Hanford Municipal Code:

1. The proposed use would not impair the integrity and character of the zoning district in which it is to be located;

   ANALYSIS: That the proposed development of the hotel will not impair the integrity and character of the C-S Service Commercial zone district. The use of a hotel is consistent with the regulations set forth in the Hanford Municipal Code Section 17.20 for the C-S Service Commercial zone district. A hotel is listed as a permitted use, with the approval of a conditional use permit, in the C-S Service Commercial zone district, as prescribed in the Land Use Table in Section 17.08.030.

2. The proposed use would be compatible with existing land uses and future permitted land uses within the zoning district in which the proposed use is to be located;

   ANALYSIS: That the proposed hotel is compatible with existing and future planned land uses in the C-S Service Commercial zone district. The purpose of the Service Commercial land use designation is to provide for establishments that engage in servicing equipment, materials, products and related sales and travel conveniences, but which do not require the manufacturing, assembly, packaging or processing of articles or merchandise for distribution. The hotel is located proximal to a car dealership and a collision repair shop. The proposed hotel is compatible with existing and future planned land uses within the vicinity. A hotel is listed as a permitted use, with the approval of a conditional use permit, in the C-S Service Commercial zone district, as prescribed in the Land Use Table in Section 17.08.030. The development and use of a hotel is consistent with the regulations set forth in the Hanford Municipal Code Section 17.20 for the C-S Service Commercial zone district, with the allowance of the Planned Unit Development to allow for shared access and reduced lot frontage.

3. The proposed use is consistent with the General Plan;

   ANALYSIS: The General Plan designates the property as Service Commercial. The property is zoned C-S Service Commercial, which corresponds with the General Plan Designation. According to General Plan Policy L51, the purpose of the Service Commercial land use designation is to provide for establishments that engage in servicing equipment, materials, products and related sales and travel conveniences, but which do not require the manufacturing, assembly, packaging or processing of articles or merchandise for distribution. In accordance with Policy L52, typical uses in service commercial include a broad range of commercial activities such as businesses which have both retail and service components. Among these are uses such as vehicle sales and service; auto rental and equipment rental; motels; restaurants (including fast food); service stations; car washes; building material supply; warehousing; wholesale trade; contractors, suppliers, small equipment yards; and other similar uses. The applicant's request to allow the use of a hotel in the Service Commercial land use designation is consistent with the General Plan, as it proposes an establishment engaged in travel conveniences.

4. There will not be significant effects upon the quality of the environment and natural resources;

   ANALYSIS: That the project is categorically exempt from further environmental review, in accordance with the California Environmental Quality Act (CEQA) Guidelines Section 15332 for In-Fill Development Projects. A Notice of Exemption has been prepared for the project (**Attachment 4**).

5. The proposed location, size, design, and operating characteristics of the proposed use would not be detrimental to the public interests, health, safety, convenience or welfare of the city and that any incompatible impacts of the proposed use are mitigated by conditions of approval.

   ANALYSIS: That this application has been reviewed by the various City departments and evaluated for conformity with the requirements of the Hanford Municipal Code Section 17.20 for the C-S Service Commercial zone district. The proposed use and development of the hotel is compliant with the Hanford Municipal Code. Any other improvements required for public

health, safety, and welfare have been applied to the project as conditions of approval in Site Plan Review No. 2019-02 and the resolution.

PUBLIC COMMENT

A Notice of Public Hearing for the project was noticed in the local newspaper on February 15, 2019 and mailed to property owners within 300 feet of the project site on February 13, 2019. No comments have been received, as of the date of preparation of this report.

ENVIRONMENTAL ASSESSMENT

That the project is categorically exempt from further environmental review, in accordance with the California Environmental Quality Act (CEQA) Guidelines Section 15332 for In-Fill Development Projects. A Notice of Exemption has been prepared for the project (**Attachment 4**).

RECOMMENDATION

Staff recommends that the Planning Commission:

1. Adopt Resolution No. 2019-03, approving Planned Unit Development No. 2019-01.

2. Adopt Resolution No. 2019-04, approving Conditional Use Permit No. 2019-01.

Applicant/Owner:
New Rooms Enterprises
Anil Chagan
Visalia, CA 93277

RESOLUTION NO. 2019-03

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HANFORD PERTAINING TO PLANNED UNIT DEVELOPMENT NO. 2019-01, A REQUEST BY NEW ROOMS ENTERPRISES TO ALLOW CROSS-ACCESS BETWEEN SITES, A SHARED DRIVEWAY, AND REDUCED LOT FRONTAGE FOR THE PARCELS LOCATED AT APN 011-030-002, -003, AND -004 IN THE C-S SERVICE COMMERCIAL ZONE DISTRICT. THE PROJECT IS LOCATED EAST OF AQUIFER DRIVE, NORTH OF GLENDALE AVENUE (APN 011-030-002, 011-030-003, AND 011-030-004).

At a regular meeting of the City of Hanford Planning Commission duly called and held on February 26, 2019, on motion of Commissioner , seconded by Commissioner , and duly carried, the following resolution was adopted:

WHEREAS, Planned Unit Development No. 2019-01, a request to allow cross-access between sites, a shared driveway, and reduced lot frontage for the parcels located at APN 011-030-002, -003, and -004, has been reviewed by the Planning Commission of the City of Hanford, in accordance with Title 17.82 of the Hanford Municipal Code; and

WHEREAS, the project is located east of Aquifer Drive, north of Glendale Avenue (APN 011-030-002, 011-030-003, and 011-030-004); and

WHEREAS, the site will be developed, as shown in Site Plan Review No. 2019-02, attached as **Exhibit A** and developed in conformance with the approved elevations, attached as **Exhibit B**; and

WHEREAS, all conditions of approval for Site Plan Review No. 2019-02, attached as **Exhibit C,** shall also become conditions of approval for Planned Unit Development No. 2019-02; and

WHEREAS, staff, the various governmental departments, and the Planning Commission have given careful consideration to this conditional use permit application and have made recommendations thereon; and

WHEREAS, the Planning Commission has reviewed the facts and evidence provided in the staff report and the written and oral evidence presented at the public hearing; and

WHEREAS, the project is exempt from further environmental review, in accordance with Section 15532 In-Fill Development of the California Environmental Quality Act (CEQA) Guidelines; and

THEREFORE, BE IT RESOLVED that the Planning Commission hereby makes the following findings pursuant to Section 17.82.060 of the Hanford Municipal Code:

1. That the location and design of the planned unit development is in accordance with the purpose of this title.

   Analysis: Location - That in accordance with Section 17.82.050 of the Hanford Municipal Code, a planned unit development shall be a minimum five-acre site area, except that there shall be no minimum site area requirements if the site is an infill development site. An infill development site means a parcel or group of parcels that make up a site that is

Attachment: Resolution No. 2019-03 (PUD 2019-01, CUP 2019-01 Fairfield Inn)

vacant or underutilized and is surrounded by developed land or parcels on at least seventy-five percent of its perimeter. Infill development sites include previously developed sites that may/will be redeveloped. The property is substantially surrounded on all sides by development: railroad and slough to the north, a car dealership to the east, a collision repair shop to the west, and Glendale Avenue and Highway 198 to the south.

Design and Purpose - That planned unit developments are encouraged to achieve a more functional, aesthetically pleasing, and harmonious living and working environment within the City, that otherwise might not be possible by strict adherence to the provisions of the municipal code. In certain instances, the objectives of the municipal code may be achieved by development that does not conform in all respects with the land use pattern designated on the zoning map or in the zone district prescribed. The planned unit development seeks to:

- Permit lot sizes, shapes, and layouts that would not otherwise be permitted by the standards of the C-S Service Commercial zone district.

The design of Planned Unit Development No. 2019-01 is consistent with the objectives of Section 17.82.

2. That the planned unit development is being proposed to achieve one or more of the objectives identified in Section 17.82.030.

   Analysis: That the planned unit development is requested, in order to achieve the following objectives identified in Section 17.82.030:

   ✓ To permit the lot patterns on size, shape, and layout that would not otherwise be permitted by the standards of the zone district in which the site is located;

3. That the location and design of the planned unit development and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare of the community to properties or improvements in the vicinity.

   Analysis: Location - The project is located east of Aquifer Drive, north of Glendale Avenue (APN 011-030-002, 011-030-003, and 011-030-004). The project is located in an area substantially surrounded by development: railroad and slough to the north, a car dealership to the east, a collision repair shop to the west, and Glendale Avenue and Highway 198 to the south. The location of the planned unit development will not be detrimental to the public health, safety, or welfare of the community to properties or improvements in the vicinity. The site is designated for Service Commercial development by the General Plan and has been evaluated for conformance with the standards of the Hanford Municipal Code.

   Design and Conditions of Operation – The City of Hanford Building Division is responsible for ensuring that future construction of the site follows adopted building codes, thus reducing exposures to accidents to the general public. The project has been reviewed by the various City departments, including the County Health Department, Public Works Department, Fire Department, and Building Division. Any improvements required for public health and safety were applied to the proposal and required in the conditions of approval.

4. That the location and design of the planned unit development will not generate more traffic than the streets in the vicinity can carry without congestion and will not overload utilities.

   Analysis: The project has been reviewed by the Public Works Department and improvements and conditions of approval have been placed on the project in order to mitigate the effects of the project on traffic, streets, and utilities.

5. That the planned unit development's population density, site area and dimensions, site coverage, yard spaces, height of structures, distances between structures, off-street parking and off-street loading facilities, landscaped areas and street design will produce an environment of stable and desired character consistent with the purpose of this title.

   Analysis: Density - "Density" means the number of dwelling units per gross acre, unless otherwise stated, for residential uses. Residential development is not proposed, nor allowed, for the site.

   Site area – The applicant proposes to merge and adjust the lot lines for APN 011-030-002, 011-030-003, and 011-030-004, creating two parcels with a shared drive. The resulting parcels will be 1.98 acres (86,266 sq. ft.) for the parcel the hotel is on and 2.02 acres (87,974 sq. ft.) for the remaining parcel. Each proposed parcel exceeds the minimum site area required for the C-S Service Commercial zone district.

   Lot Frontage - The minimum lot frontage in the C-S Service Commercial zone district shall be 40 feet, unless a reciprocal-use agreement for shared common access and parking areas is recorded with the Kings County Recorder's Office. The applicant proposes to merge and adjust the lot lines for APN 011-030-002, 011-030-003, and 011-030-004, creating two parcels with a shared drive. The hotel's parcel will have 269.58 feet of street frontage on Glendale Avenue. The remaining parcel will have 20 feet of frontage along Glendale Avenue. Due to the shared drive and reduced street frontage, the applicant has applied for Planned Unit Development No. 2019-01. A reciprocal use agreement is required for the shared common access to the site, which will ensure an environment of stable character consistent with the Hanford Municipal Code.

   Coverage - The maximum coverage of the lot shall be determined by the combined building setback area requirements, open space requirements, and off-street parking and loading requirements. All required building setbacks, landscaping, off-street parking and loading requirements were evaluated and mandated as part of the site plan review process.

   Setbacks - No structure is permitted to be placed within a building setback area. In the C-S Service Commercial zone district, the front building setback area shall be a minimum of 15 feet, except that in the C-S zones bounded by State Route 198, 10th Avenue, 11th Avenue, and Sixth Street, there is no minimum front building setback area requirement. The site is not bounded by State Route 198, 10th Avenue, 11th Avenue, or Sixth Street; therefore, there shall be a minimum 15-foot setback for the sites. The hotel is setback 38.33 feet from the front property line. There is not a structure on the remaining parcel. The front-yard setback is met and exceeded.

   In the C-S Service Commercial zone district, the rear and side building setbacks may be zero feet from the rear and side lot lines, except that where the rear or side lot line abuts a public street or an R-L, R-M, R-H, OR, O, PF, AP, or CO zone district, the setback shall

be 15 feet. The rear and side property lines do not abut a public street or an R-L, R-M, R-H, OR, O, PF, AP, or CO zone district; therefore, a zero-setback is acceptable.

All building setback requirements are met for the project. Future development of the remaining parcel will be subject to the building setbacks presented.

Distances Between Structures - The minimum distance between structures used solely for residential purposes and another structure shall be 10 feet, except as provided by the building code. There are no residential structures proposed on site.

Height of Structures - The maximum height of structures in the C-S Service Commercial zone district is 50 feet. The four-story hotel will be 49.83 feet tall at the top of the parapet. The top of the tower will be 53.5 feet. In accordance with Section 17.50.190 Exceptions to Height Limitations – Penthouses or roof structures for the housing of elevators, stairways, tanks, ventilating fans, air condition equipment, or similar equipment required to operate and maintain buildings, and fire and parapet walls, skylights, towers, spires, cupolas, road signs (where permitted), flagpoles, chimneys, smokestacks, television and radio masts, or similar structures may be erected above the height limit, but shall not be allowed for the purpose of providing additional floor space. The tower, which exceeds the 50-foot height limitation is an exception to the height limitation and therefore, does not contribute to the height of the structure. The hotel structure does not exceed the height maximum of the District. Future development of the remaining parcel is subject to the height limitation of the District.

Driveways - Whenever possible, developments in the C-S Service Commercial zone district shall share driveways to minimize the number of driveways on public streets. The applicant proposes to merge and adjust the lot lines for APN 011-030-002, 011-030-003, and 011-030-004, creating two parcels with a shared drive. The hotel's parcel will have 269.58 feet of street frontage on Glendale Avenue. The remaining parcel will have 20 feet of frontage along Glendale Avenue. Due to the shared drive and reduced street frontage, the applicant has applied for Planned Unit Development No. 2019-01. In accordance with Section 17.82.010 of the Hanford Municipal Code, planned unit developments are encouraged to achieve a more functional, aesthetically pleasing, and harmonious living and working environment within the City, that otherwise might not be possible by strict adherence to the provisions of the Hanford Municipal Code. In certain instances, the objectives of the Municipal Code may be achieved by development that does not conform in all respects with the land use pattern designated on the zoning map or in the zone districts prescribed. The planned unit development process can be used to permit lot pattern layouts that would otherwise not be permitted by the standards of the C-S Service Commercial zone district. One goal for new development in the Service Commercial zone district is to minimize the number of driveways on public streets by sharing driveways. By permitting a shared driveway between the hotel's parcel and the remaining parcel through the planned unit development process, the applicant is achieving a goal of the C-S Service Commercial zone district.

Off-Street Parking - The applicant proposes 92 parking stalls on site, five of which are ADA accessible, as shown on approved Site Plan Review No. 2019-02 (**Attachment 1**). This exceeds the requirement of the Hanford Municipal Code Section 17.54.040 for hotels, which requires one space per guest room, plus one space per employee.

That the applicant shall provide a minimum of 87 parking stalls on site, four of which are ADA accessible, based on the ratio one stall per guest room, plus one stall per employee.

Calculation:

82 bedrooms + 5 full-time employees = 87 parking stalls minimum

Parking areas shall not be closer than five feet to any front or side lot line and the area between the lot line and parking area shall be landscaped. Parking is separated from the front property line by 20 feet of landscaping and from the side lot lines by a minimum of five feet of landscaping. Future development of the remaining parcel must adhere to the requirements of the Hanford Municipal Code pertaining to off-street parking.

Landscaping - In the C-S Service Commercial zone district, landscaping shall be provided and permanently maintained in a setback area not less than 15 feet from a lot line adjoining a street, except where the setback area is covered by structures, parking, or driveways. A minimum of 15 feet of landscaping is provided along Glendale Avenue, except where there is a driveway.

The deviations proposed under Planned Unit Development No. 2019-01 are consistent with the purposes of Section 17.82 Planned Unit Developments. The project would provide a stable and desired character by minimizing new driveways and sharing access, through a reciprocal-use agreement for shared use of the driveway.

6. That the combination of different dwelling types, architectural appearance, and/or varieties of land uses in the development will complement each other and harmonize with the existing and proposed land uses in the vicinity.

   ANALYSIS: In accordance with Section 17.20.090 of the Hanford Municipal Code, whenever possible, developments in the C-S Service Commercial zone district shall share driveways to minimize the number of driveways on public streets. The applicant proposes to merge and adjust the lot lines for APN 011-030-002, 011-030-003, and 011-030-004, creating two parcels with a shared drive. The hotel's parcel will have 269.58 feet of street frontage on Glendale Avenue. The remaining parcel will have 20 feet of frontage along Glendale Avenue. By permitting a shared driveway between the hotel's parcel and the remaining parcel through the planned unit development process, the applicant is achieving a goal of the C-S Service Commercial zone district. The parcels will be ensured access through a recordation of a reciprocal use agreement through the Kings County Recorder's Office for shared use of the driveway.

THEREFORE, BE IT FURTHER RESOLVED that the Planning Commission has determined that Planned Unit Development No. 2019-01 shall be approved, subject to the conditions of approval for Site Plan Review No. 2019-02, attached as **Exhibit C,** and the following conditions:

1. That an approved permit shall expire and shall become null and void two (2) years after the date of approval unless, prior to expiration a building permit is issued and construction commenced or the use has commented.

PASSED AND ADOPTED at a regular meeting of the Hanford City Planning Commission by the following vote:

AYES:	Commissioners
NOES:	Commissioners
ABSTAIN:	Commissioners
ABSENT:	Commissioners

STATE OF CALIFORNIA)
COUNTY OF KINGS) ss
CITY OF HANFORD)

I, **DARLENE R. MATA**, Secretary of the City of Hanford Planning Commission, do hereby certify the foregoing Resolution was duly passed and adopted by the Planning Commission of the City of Hanford at a regular meeting thereof held on the 26th day of February 2019.

Darlene R. Mata, Secretary

Exhibit A
Site Plan No. 2019-02

Attachment: Resolution No. 2019-03 (PUD 2019-01, CUP 2019-01 Fairfield Inn)

Attachment: Resolution No. 2019-03 (PUD 2019-01, CUP 2019-01 Fairfield Inn)

Attachment: Resolution No. 2019-03 (PUD 2019-01, CUP 2019-01 Fairfield Inn)

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Exhibit B
Elevations

1 EAST ELEVATION

2 SOUTH ELEVATION

3 WEST ELEVATION

EXTERIOR FINISH KEY

EXTERIOR ELEVATIONS

A301

Attachment: Resolution No. 2019-03 (PUD 2019-01, CUP 2019-01 Fairfield Inn)

Exhibit C
Site Plan Review No. 2019-02 Approval Letter

City of HANFORD

CALIFORNIA 93230
CITY OFFICES 317 NORTH DOUTY STREET

MAYOR
SUE SORENSEN
VICE-MAYOR
JOHN DRAXLER
COUNCIL MEMBERS
MARTIN DEVINE
FRANCISCO RAMIREZ
ART BRIENO
CITY MANAGER
DARREL L. PYLE
CITY ATTORNEY
ROBERT M. DOWD

DATE: February 21, 2019

PROJECT: Site Plan Review 2019-01 (502-1051)

APPLICANT: New Rooms Enterprises, LLC

LOCATION: East of Aquifer Drive, north of Glendale Avenue (APN 011-030-002)

PROPOSAL: Fairfield Inn – Four-Story, 82-room hotel

ZONING: C-S Service Commercial

SITE PLAN REVIEW COMMITTEE REVIEW DATE: January 23, 2019

Enclosed for your review are the comments and decisions of the Site Plan Review Committee. Please review all comments, since they may impact your project:

☐ **RESUBMIT:** Major changes to your plans are required prior to accepting construction drawings for a building permit. A meeting with the Site Plan Review Committee is not required.

☐ **MEETING REQUIRED:** During site plan review, concerns were identified, schedule a meeting with the following prior to resubmittal:

- ☐ Planning
- ☐ Fire
- ☐ Solid Waste
- ☐ Wastewater
- ☐ Building
- ☐ Engineering
- ☐ Police
- ☐ Parks and Recreation

☒ **REVISE AND PROCEED**

- ☒ Approved subject to the following and the attached conditions of approval.
- ☒ Submit plans for a building permit between the hours of 8:00 a.m. and 4:00 p.m.
- ☒ Your Plans must be reviewed by:

- ☐ City Council
- ☐ Parking and Traffic Commission
- ☐ Other: _____
- ☒ Planning Commission **CUP; PUD**
- ☐ Parks and Recreation Commission

Signed,

Gabrielle Myers

Gabrielle Myers, Associate Planner
Community Development Department

February 21, 2019
DATE

Attachment: Resolution No. 2019-03 (PUD 2019-01, CUP 2019-01 Fairfield Inn)

EXPIRATION

A site plan approval shall expire one (1) year from its approval date, unless a building permit application has been submitted or the use has commenced. Prior to expiration, the Community Development Director may extend the permit expiration date by one (1) year if there is substantial evidence that the applicant is diligently pursuing building permit approval or commencement of the use (Hanford Municipal Code Section 17.72.070).

CALIFORNIA ENVIRONMENTAL QUALITY ACT

Site Plan Review is a ministerial action, therefore not subject to the California Environmental Quality Act (CEQA) (CEQA Guidelines 15268 and MC 17.70.070). **Exemption No. 2019-06**

COMMENTS AND CONDITIONS OF APPROVAL

THE FOLLOWING DEPARTMENT COMMENTS AND CONDITIONS ARE ATTACHED:

- ☒ PLANNING
- ☒ BUILDING
- ☒ ENGINEERING
- ☒ SOLID WASTE
- ☐ WASTEWATER
- ☐ POLICE
- ☒ FIRE
- ☐ PARKS AND RECREATION

DEFENSE AND INDEMNIFICATION PROVISION

That the applicant shall defend, indemnify, and hold harmless the City of Hanford ("City"), its officials, officers, employees, representatives, agents and attorneys, from and against all claims, damages, losses, judgments, liabilities, expenses and other costs, including litigation costs and attorney's fees, arising out of, resulting from, or in connection with, the City's act or acts leading up to and including approval of any environmental document and/or granting of any approvals relating to the Project. Applicant's obligation to defend, indemnify and hold the City harmless specifically includes, but is not limited to, any suit or challenge by any third party against the City which challenges or seeks to set aside, void or annul the legality or adequacy of any environmental document approved by the City or any approval related to the Project

APPLICANT'S STATEMENT (Must be signed prior to issuance of a building permit)

I have reviewed a copy of the Site Plan Review Approval No. 2019-02 and I understand that the proposed construction and/or land use is dependent upon the fulfillment of the conditions of approval and construction of all required public improvements prior to use, inauguration or occupancy, unless other arrangements are approved.

Applicant or Authorized Representative

_____

PLANNING DIVISION
SITE PLAN REVIEW COMMENTS

MEETING DATE: January 23, 2019
SITE PLAN NUMBER: 2019-02
CONTACT: Gabrielle Myers, Associate Planner: (559) 585-2578

General Plan Designation: Service Commercial

Zoning: C-S

Other Special Districts: N/A

Planning Division Recommendation ☒ Revise and Proceed ☐ Resubmit

The project does meet the requirements of the Hanford Municipal Code, development standards and other codes and policies.

Required Entitlements:

- Conditional Use Permit, the use of a hotel requires a conditional use permit in the C-S Service Commercial zone district.
- Planned Unit Development, due to the cross-access and shared driveway proposed for the site, a planned unit development is required.
- Lot Line Adjustment, a lot line adjustment is required in order to adjust the lot lines and merge, as proposed.
- Reciprocal Use Agreement – a Reciprocal Use Agreement must be recorded with the Kings County Recorder's Office for shared use of the driveway.

General Requirements:

1. That approval of this project does not exempt compliance with all applicable sections of the Zoning Ordinance, Public Works Improvement Standards, fees, or other City Ordinances.
2. That all approved proposals of the applicant be conditions of development, if not mentioned herein.
3. That the site be developed according to the approved site plan, titled Site Plan Review No. 2019-02 with minor modifications to be approved by the Community Development Department.
4. That no expansion of the use which would tend to increase the projected scale of operations beyond the scope and nature described in this Site Plan Review shall be permitted except upon application for, and approval of, modification of this application according to all procedures and requirements thereof.

Attachment: Resolution No. 2019-03 (PUD 2019-01, CUP 2019-01 Fairfield Inn)

5. That if cultural resources are discovered during construction or related activities, all work shall be halted and a qualified archeologist and the City of Hanford shall be notified. The find shall be properly investigated and appropriate measures are to be taken before construction may continue.

C-S Zone Requirements (all checked shall apply)

Cultural Resources:

☒ That if cultural resources are discovered during construction or related activities, all work shall be halted and a qualified archeologist and the City of Hanford shall be notified. The find shall be properly investigated and appropriate measures are to be taken before construction may continue.

Building Setback Areas (17.20.060)

☒ That the appropriate setbacks be maintained, as follows:

- ☒ The front building setback area shall be 15 feet, measured from the front lot line.
- ☒ The rear building setback may be zero, measured from the rear lot line.
- ☒ The side building setbacks may be zero, measured from the side lot lines.
- ☐ The street side building setback shall be 15 feet, measured from the street-side lot line.

Off Street Parking: (Section 17.54).

☒ That the applicant shall a minimum of 87 parking stalls on site, four of which are ADA-accessible, based on the ratio one stall per guest room, plus one stall per employee.

Calculation:

82 bedrooms + 5 full-time employees = 87 parking stalls minimum

☒ That the standard parking space shall not be less than 18.5 feet in length and nine feet in width, exclusive of aisles and access drives (Section 17.54.110 A).

☒ That the maximum number of compact-car parking spaces is limited to 30 percent of the total parking spaces required. A compact parking space shall not be less than 16 feet in length and 8 feet in width, and marked for compact cars (Section 17.54.110 B. and C).

- ☒ There shall be no more than four compact spaces adjacent to each other.

☒ That parking for bicycles and low-emission vehicles shall be provided in accordance with the latest adopted version of the California Building Code (Section 17.54.190).

☒ In the commercial zone district, not less than five percent of the interior square footage of a parking area shall be landscaped with trees and other plant materials suitable for

ornamentation. **Parking areas are to have one tree placed at every four lineal parking stalls.**

Signage: (Section 17.56).

☒ That any/all signs proposed for this development shall be subject to the requirements and prescribed in Chapter 17.56 of the Hanford Municipal Code. **A separate application is required**.

Fencing and Walls: (Section 17.20.130)

☒ That no fence or wall shall be placed in front of or within any landscaped area located next to a street.

☒ That the open storage of materials and equipment attendant to a use shall be permitted only within an area surrounded or screened by a solid wall or fence seven feet minimum in height.

☒ That any proposed fencing on the site be maintained in good repair.

☒ That no fence or wall shall be placed within the public right-of-way.

☒ That a masonry fence exceeding three (3) feet in height shall require engineered footings and a building permit. All other fencing exceeding seven (7) feet in height shall require engineered post footings and a building permit.

☒ That no hedge, shrub, fence, or wall exceeding the three (3) feet in height, or four (4) feet in height if the upper one (1) foot is fifty (50) percent or more open shall be planted, placed, or maintained within the twenty-five (25) feet corner sight triangle of a corner lot, or along a front or street side property line where the hedge, shrub, fence, or wall creates a traffic or pedestrian hazard as determined by the Community Development Director.

Landscaping: (Section 17.20.120 and 17.52).

☒ **Landscaping shall be provided and permanently maintained in a setback area not less than 15 feet from a lot line adjoining a street.**

☒ General Design Standards: the following features shall be incorporated into the design of the proposed landscape and shown on the required landscape plans:

- ☒ Publicly maintained landscape areas shall be separated from privately maintained landscape areas with, at a minimum, a four (4) inch wide concrete mow strip.
- ☒ Pedestrian access to sidewalks and structures shall be integrated with the design of landscaped areas.
- ☒ Landscape adjacent to driveways and parking areas shall be protected from vehicle damage through the provision of a minimum six (6) inch high and six (6) inch wide concrete curb.
- ☒ Concrete mow strips, when used, shall be a minimum of four (4) inches in width.

Attachment: Resolution No. 2019-03 (PUD 2019-01, CUP 2019-01 Fairfield Inn)

- ☒ Trees and shrubs shall be planted so that at maturity they do not interfere with utility lines and traffic safety sight areas.
- ☒ Trees and shrubs shall be planted and maintained in a manner that protects the basic rights of adjacent property owners, particularly the right to solar access.
- ☒ Trees planted within five (5) feet of sidewalks or curbs shall have an eighteen (18) inch by ten (10) foot long linear root barrier placed at each edge of the sidewalk or face of curb, centered on the tree.

☒ Plant materials. Plant materials shall be selected and installed in accordance with the following requirements:

- ☒ The size of ten (10) percent of the trees to be planted shall be twenty-four (24) inch box or larger. The remaining trees shall be sized fifteen (15) gallons or larger.
- ☒ The size of seventy (70) percent of plants and shrubs shall be at five (5) gallon or larger. The remaining plants and shrubs shall be sized one (1) gallon or larger.
- ☒ The size of groundcover at planting shall be one (1) gallon or larger.
- ☒ Groundcover shall be designed to have one hundred (100) percent coverage within two (2) years.
- ☒ Drought tolerant plant material and climate appropriate species shall be emphasized in the design.

☒ That the landscaped area shall be planted with live and healthy plant materials suitable for screening/or ornamenting the site. Landscaped areas shall be watered by automatic systems and designed and developed in accordance with Chapter 12.08 and the most recent State Model Water Efficient Landscaped Ordinance.

☒ That no fence, hedge, or shrub shall be installed, planted, or maintained along a street frontage, which creates a traffic or pedestrian hazard.

Outdoor Lighting Standards (Section 17.50.140)

☒ That all lights and light fixtures, except public street lights, shall be located, aimed or shielded so as to minimize light trespassing across property boundaries or skyward.

☒ That building mounted lighting fixtures shall be attached only to the walls of the building. The top of a light fixture attached to a building wall shall not be higher than the top of the building parapet or the top of the roof eave, whichever is lower.

☒ That the canopy ceiling light fixtures shall be recessed or the sides of the lens area shall be shielded, in order to eliminate emission of horizontal light.

☒ That the height of freestanding light fixtures, including freestanding parking lot fixtures, shall be measured from the top of a light fixture to the adjacent grade at the base of the support for that light fixture and shall not exceed 50 feet.

Dust Control:

☒ That the appropriate dust-control practices of the San Joaquin Valley Air Pollution Control District shall be implemented.

☒ That the any necessary permits be obtained through the San Joaquin Valley Air Pollution Control District.

BUILDING DIVISION
SPR 2019-002 (502-1051) 4 Story Hotel
1-18-19

Contact Building Official: Tom Webb (559) 585-2584
Concerning questions that you may have on the conditions listed below:

1. That building permits must be obtained from the City Building Division for any structural, plumbing, electrical or mechanical work being done.

2. That no building or structure shall be used or occupied, and no change in the existing occupancy classification of building or structure or portion thereof shall be made until the building official has approved the change and issued a Certificate of Occupancy.

3. That detailed dimensioned plans be provided to the Building Division prior to obtaining construction permits.

4. That the buildings will require plans and calculations signed by an architect or engineer licensed to practice in the State of California. Submittal shall consist of:

   4.1 1 copy of the City of Hanford Permit Application form
   4.2 6 complete sets of Drawings, unless noted, including:
      4.2.1 Grading Plan (Civil Drawings)
      4.2.2 Site Plan
      4.2.3 Landscaping Plan
      4.2.4 Architectural Drawings
      4.2.5 Structural Drawings
      4.2.6 Electrical Drawings
      4.2.7 Mechanical Drawings
      4.2.8 Plumbing Drawings
      4.2.9 Commissioning Plan per 2016 CEnC section 120.8
      4.2.10 Planning Dept. "Conditions of Approval" or "Resolution" printed on the drawings and part of the drawing submittal
      4.2.11 A minimum of 2 sets shall be stamped and wet signed by an Architect or Engineer licensed in the State of California.
   4.3 2 complete sets of documentation, unless noted, including:
      4.3.1 Architectural Specifications
      4.3.2 Structural Calculations
      4.3.3 Electrical Calculations, if not included on the drawings
      4.3.4 Mechanical Calculations, if not included on the drawings
      4.3.5 Plumbing Calculations, if not included on the drawings
      4.3.6 Energy Calculations, if not included on the drawings
      4.3.7 CalGreen Compliance, if not included on plans
      4.3.8 Commissioning Plan, if not included on drawings
      4.3.9 A minimum of 2 sets shall be stamped and wet signed by an Architect or Engineer licensed in the State of California.
      4.3.10 **Landscape Calculations per Hanford City Ord.**

5. That the site, as well as the buildings, shall be made accessible and usable by the disabled in accordance with the California Building Code, Chapter 11B.

6. That a preliminary soils report, prepared by a qualified soils engineer, be provided to the Engineering and Building Divisions prior to approval of site improvement plans. The soils report shall comply with the 2016 California Building Code, Chapter 18.

7. That a final soils report, prepared by a qualified soils engineer, be provided to the Engineering and Building Divisions before issuance of building permits.

Attachment: Resolution No. 2019-03 (PUD 2019-01, CUP 2019-01 Fairfield Inn)

8. That a school impact fee of $0.61(or revision thereof) for each square foot of new building area be paid when building permits are issued. (Any waiver of fees must be obtained from the school district)

9. That Kings County Impact fees apply.

10. That all special inspection reports be submitted to the Building Division when obtained during construction and prior to final inspection.

11. That all construction shall conform to the 2016 Edition, California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Fire Code, California Energy Code and CalGreen. **Also, with the City of Hanford, Water Efficient Landscape Design and Installation Ordinance, Chapter 12.08.**

12. That the owner is responsible for compliance with the Americans with Disabilities Act. By federal law your facility must be made accessible to the highest degree possible.

13. That the applicant provide a complete set of AS-BUILT drawings on CD, in "tif" format, to the Building Division prior to Final Inspection.

14. That the Building Division conducts and approves a Zoning Health & Safety inspection prior to the occupancy of the building.

15. That the address for the building will be 2040 Glendale Avenue.

Hanford Fire Department

Contact Fire Chief Chris Ekk @ 559-585-2545 or cekk@cityofhanfordca.com
concerning questions that you may have on the following conditions.

Site Plan Review

Date: **January 23, 2019**

Project #: **SPR 2019-02 (502-1051) CUP 2019-01 PUD 2019-01 (509-0097) Fairfield Inn Glendale Ave.**

General Instructions

1. **Approval of this project does not exempt compliance with all applicable sections of the City adopted fire codes and local fire ordinances.**
2. All fire protection systems must be installed and operational prior to occupying the building.
3. All permits shall be issued and fees paid prior to scheduling inspections with the Fire Department. To schedule appointments for inspections, please email at grocha@cityofhanfordca.com and dbodiroga@cityofhanfordca.com
4. Scope of work shall be clearly stated on all plans submitted for permit.
5. All Deferred Submittals shall be listed on the building plan Title Page. All deferred submittals are required to be submitted within 30-days of building permit issuance.

The following comments are applicable if checked:

1. ☐ No comments.
2. ☒ This project must comply with latest applicable codes.
3. ☒ Project must meet minimum fire flow requirements per the table in Appendix B & C of the 2016 California Fire Code.
4. ☒ If a new fire hydrant flow test is required, contact the fire department for submittal requirements.
5. ☒ Based on the occupancy classification, an automatic sprinkler system is required for this project. ***A separate fire department permit is required.*** Contact the fire department for submittal process.
   - ☐ NFPA 13 System per CFC 903.3.1.1
   - ☒ NFPA 13R System per CFC 903.3.1.2 (Group R occupancies)
   - ☐ NFPA 13D System per CFC 903.3.1.3 (one and two-family dwellings, Group R-3, and townhouses)
6. ☒ For automatic sprinkler systems, ***a separate permit must be submitted*** for the underground system supplying the sprinkler system. Contact the fire department for submittal information.

Attachment: Resolution No. 2019-03 (PUD 2019-01, CUP 2019-01 Fairfield Inn)

7. ☒ Fire Riser Room: All new buildings that require an automatic fire sprinkler system shall contain a separate room to house the fire riser and FDC inside of it and shall have the following building elements:
   - At least one man door shall be provided - only exterior door(s) are allowed,
   - The fire riser room and the door shall be large enough to accommodate repairs and/or maintenance needed by the use of tools and the removal and/or replacement of parts/pipe to the fire riser or FDC; suggested size 4' x 4' room.
   - One-hour rated construction,
   - Fire sprinkler head coverage required,
   - Normal and emergency back-up lighting shall be installed inside the fire riser room,
   - The exterior of the fire riser door shall have permanent signage stating FIRE RISER ROOM in a contrasting color to background,
   - For existing buildings: please contact the fire department for requirements.

8. ☒ When a sprinkler system is required with 21 or more sprinkler heads, the system shall be monitored by a Central Station Service. Fire alarm and detection systems required by Chapter 9 of the currently adopted edition of the California Building Code (CBC) and CFC shall be installed per NFPA 72. ***A separate fire department permit is required*** for fire sprinkler monitoring and/or fire alarm systems required by the latest edition of the CBC. Contact the fire department for submittal process.

9. ☒ A hydrant will be required within 50 feet of the fire department connection. **Knox FDC Plugs, Model #3401**, are required on all FDC's. The ordering of Knox Box products can be done directly at www.knoxbox.com or an order form can be obtained from the fire department. Install one hydrant within 50' west of the FDC location. Coordinate with fire department on underground permit.

10. ☒ When any portion of the facility or building to be protected is more than 400 feet from a hydrant on a fire apparatus access road as measured by an approved route around the exterior of the building, on-site fire hydrants and mains shall be provided where required by the fire code official.

11. ☒ Depending on the location of the existing fire hydrant(s), additional fire hydrants may be required. All hydrants must be in place and accepted by the fire department prior to any combustibles being brought onto the site.

12. ☐ No additional hydrants are necessary for this project.

13. ☒ Number of additional hydrants necessary for this project: 3 Coordinate with fire department on underground permit.

    1. Install one hydrant west of FDC within 50'.
    2. Install one hydrant in parking lot in southeast corner.
    3. Hydrant in northeast corner of parking lot on site plan (acceptable)

Attachment: Resolution No. 2019-03 (PUD 2019-01, CUP 2019-01 Fairfield Inn)

Existing hydrant on Glendale east of eastern entrance acceptable.

14. ☒ Fire hydrant spacing shall be as follows:

a. **Residential development**: one hydrant shall be installed at 500 foot intervals.
b. **Commercial development**: one hydrant shall be installed at 300 foot intervals.
c. Or as required by Appendix C of the California Fire Code

15. ☒ Fire hydrant protection posts shall be installed at all fire hydrants that are subject to vehicle damage.

16. ☒ Approved fire apparatus access roads shall be provided for every facility, building, or portion of a building constructed or moved onto or with the City of Hanford. It shall extend to within 150 feet of all portions of the facility and all portions on the exterior walls of the first story of the buildings as measured by an approved route around the exterior of the building or facility.

17. ☐ All dead-end access roads in excess of 150 feet must be provided with an approved turn-around or hammer head complying with City standards.

18. ☐ Existing access roads are sufficient.

19. ☒ All access road shall not be less than 20 feet wide and 13 feet 6 inches in height.

East and west entrances at 20 feet wide are acceptable.

Roof over entrance on east side must be at least 13 feet 6 inches in height.

Access road with a hydrant, the minimum road width shall be 26 feet exclusive of shoulders. Aerial fire apparatus access roads (CFC D105.1): Where the vertical distance between the grade and the highest roof surface exceeds 30 feet, approved aerial fire apparatus access roads shall be provided. CFC D105.2: Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders, in the immediate vicinity of the building or portion thereof.

Access roads near the building are acceptable at 26 feet wide.

20. ☒ Access road turning radius for fire apparatus is as follows (show all three on plans):

a. 20 feet 1 inch inside turning radius (inside rear wheel)
b. 36 feet 3 inch curb to curb (outside front wheel)
c. 44 feet 6 inch outside radius (outside front bumper)

Show that turning radius requirements are met throughout the parking lot.

21. ☐ Additional access roads may be required per CFC 2016 Section 503.1.2. The fire

Attachment: Resolution No. 2019-03 (PUD 2019-01, CUP 2019-01 Fairfield Inn)

code official is authorized to require more than one fire apparatus access road based on the potential for impairment of a single road by vehicle congestion, condition of terrain, climatic conditions or other factors that could limit access.

22. ☒ Traffic calming devices shall not be installed onto fire department emergency access roads unless prior approval is obtained from the Hanford Fire Department.

23. ☒ Areas identified as "Fire Lanes" must be identified as such per requirements set forth in the California Vehicle Code Section 22500.1.
   a. Access roads 20-26 feet in width. Fire lanes shall be on both sides of the fire apparatus access roads.
   b. Access roads 26 to less than 32 feet in width: Fire lanes shall be on one side of the fire apparatus access roads.
   c. Access roads 32 feet in width or more: No fire lanes required.
   Coordinate and confirm with the fire department later in the process.
   No parking east of the covered parking at the entrance.

24. ☒ Temporary or permanent fire department access roads shall be constructed in accordance with City Standards ST-36. All weather access roads shall be in place prior to any combustible construction being brought onto the premises unless approved by the fire department.

25. ☐ Locked gates installed across fire department access roads:
   a. **Manual gates** with a chain lock require a **Knox Padlock, Model #3770**, to be installed on them; or a **Knox Box, Model 3200 Series**, shall be installed on the exterior of the gate and a key to the lock on the gate must be placed in the Knox Box.
   b. **Electric gates** shall be equipped with an electric **Knox Key Switch, Model 3502**, at the gate location.
   c. In case of a loss of power, electrically operated gates shall have a means of back-up power or shall default in the open position for immediate fire department access.
   d. At no time shall the width of the fire department access road be reduced below **20-feet wide through or at any gates** along the fire departments' emergency access roads due to protruding objects from gate supports, frames, signs, access booths, curbs, etc.

26. ☒ A Knox Box will be required. Keys that open all locked areas will also be required and placed in the Knox Box. The ordering of Knox Box products can be done directly at www.knoxbox.com or an order form can be obtained from the fire department.

27. ☒ All address numbers shall be installed onto the building and shall be visible from the frontage street. The color of the address numbers shall be in a contrasting color to the building.

Size of Address Numbers:

Attachment: Resolution No. 2019-03 (PUD 2019-01, CUP 2019-01 Fairfield Inn)

- Downtown area (existing buildings): 4-inch numbers,
- Buildings 20-ft. or less from the street: 6-inch numbers,
- Buildings 21- to 40-ft. from the street: 8 inch numbers,
- Buildings more than 40-ft. from street: 12 inch numbers.

28. ☐ Commercial cooking equipment that produce grease laden vapors shall be provided with a Type I hood. ***A separate permit is required for the Type I hood***. Contact the fire department for submittal information.

29. ☐ All commercial cooking appliances creating grease laden vapors shall have a K-Class fire extinguisher within 30-feet of cooking appliances in accordance with the most currently adopted edition of the CFC.

30. ☐ ***A separate permit is required*** for all hazardous material and/or flammable and combustible liquids, gases, solids, etc., over the exempt amounts set forth in the latest adopted edition of the California Fire Code.

31. ☐ ***A fuel tank permit is required*** for underground and aboveground gasoline/LPG/Diesel.

32. ☐ Combustible high-piled storage over 12 feet ***requires a separate fire department review and permit.*** Contact the fire department for further information.

Attachment: Resolution No. 2019-03 (PUD 2019-01, CUP 2019-01 Fairfield Inn)

RESOLUTION NO. 2019-04

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HANFORD PERTAINING TO CONDITIONAL USE PERMIT NO. 2019-01, A REQUEST BY NEW ROOMS ENTERPRISE TO ALLOW THE USE OF A HOTEL IN THE C-S SERVICE COMMERCIAL ZONE DISTRICT. THE PROJECT IS LOCATED EAST OF AQUIFER DRIVE, NORTH OF GLENDALE AVENUE (APN 011-030-002, 011-030-003, AND 011-030-004).

At a regular meeting of the City of Hanford Planning Commission duly called and held on February 26, 2019, on motion of Commissioner , seconded by Commissioner , and duly carried, the following resolution was adopted:

WHEREAS, **Conditional Use Permit No. 2019-01,** a request by New Rooms Enterprise to allow the use of a four-story, 82-room hotel in the C-S Service Commercial zone district, has been reviewed by the Planning Commission of the City of Hanford, in accordance with Title 17.82 of the Hanford Municipal Code; and

WHEREAS, the project is located east of Aquifer Drive, north of Glendale Avenue (APN 011-030-002, 011-030-003, and 011-030-004); and

WHEREAS, the site will be developed, as shown in Site Plan Review No. 2019-02, attached as **Exhibit A** and developed in conformance with the approved elevations, attached as **Exhibit B**; and

WHEREAS, all conditions of approval for Site Plan Review No. 2019-02, attached as **Exhibit C,** shall also become conditions of approval for Planned Unit Development No. 2019-02; and

WHEREAS, staff, the various governmental departments, and the Planning Commission have given careful consideration to this conditional use permit application and have made recommendations thereon; and

WHEREAS, the Planning Commission has reviewed the facts and evidence provided in the staff report and the written and oral evidence presented at the public hearing; and

WHEREAS, the project is exempt from further environmental review, in accordance with Section 15532 In-Fill Development of the California Environmental Quality Act (CEQA) Guidelines; and

THEREFORE, BE IT RESOLVED that the Planning Commission hereby makes the following findings pursuant to Section 17.80.030 of the Hanford Municipal Code:

1. The proposed use would not impair the integrity and character of the zoning district in which it is to be located;

   ANALYSIS: That the proposed development of the hotel will not impair the integrity and character of the C-S Service Commercial zone district. The use of a hotel is consistent with the regulations set forth in the Hanford Municipal Code Section 17.20 for the C-S Service Commercial zone district. A hotel is listed as a permitted use, with the approval of a conditional

Attachment: Resolution No. 2019-04 (PUD 2019-01, CUP 2019-01 Fairfield Inn)

use permit, in the C-S Service Commercial zone district, as prescribed in the Land Use Table in Section 17.08.030.

2. The proposed use would be compatible with existing land uses and future permitted land uses within the zoning district in which the proposed use is to be located;

   ANALYSIS: That the proposed hotel is compatible with existing and future planned land uses in the C-S Service Commercial zone district. The purpose of the Service Commercial land use designation is to provide for establishments that engage in servicing equipment, materials, products and related sales and travel conveniences, but which do not require the manufacturing, assembly, packaging or processing of articles or merchandise for distribution. The hotel is located proximal to a car dealership and a collision repair shop. The proposed hotel is compatible with existing and future planned land uses within the vicinity. A hotel is listed as a permitted use, with the approval of a conditional use permit, in the C-S Service Commercial zone district, as prescribed in the Land Use Table in Section 17.08.030. The development and use of a hotel is consistent with the regulations set forth in the Hanford Municipal Code Section 17.20 for the C-S Service Commercial zone district, with the allowance of the Planned Unit Development to allow for shared access and reduced lot frontage.

3. The proposed use is consistent with the General Plan;

   ANALYSIS: The General Plan designates the property as Service Commercial. The property is zoned C-S Service Commercial, which corresponds with the General Plan Designation. According to General Plan Policy L51, the purpose of the Service Commercial land use designation is to provide for establishments that engage in servicing equipment, materials, products and related sales and travel conveniences, but which do not require the manufacturing, assembly, packaging or processing of articles or merchandise for distribution. In accordance with Policy L52, typical uses in service commercial include a broad range of commercial activities such as businesses which have both retail and service components. Among these are uses such as vehicle sales and service; auto rental and equipment rental; motels; restaurants (including fast food); service stations; car washes; building material supply; warehousing; wholesale trade; contractors, suppliers, small equipment yards; and other similar uses. The applicant's request to allow the use of a hotel in the Service Commercial land use designation is consistent with the General Plan, as it proposes an establishment engaged in travel conveniences.

4. There will not be significant effects upon the quality of the environment and natural resources;

   ANALYSIS: That the project is categorically exempt from further environmental review, in accordance with the California Environmental Quality Act (CEQA) Guidelines Section 15332 for In-Fill Development Projects. A Notice of Exemption has been prepared for the project (**Attachment 4**).

5. The proposed location, size, design, and operating characteristics of the proposed use would not be detrimental to the public interests, health, safety, convenience or welfare of the city and that any incompatible impacts of the proposed use are mitigated by conditions of approval.

ANALYSIS: That this application has been reviewed by the various City departments and evaluated for conformity with the requirements of the Hanford Municipal Code Section 17.20 for the C-S Service Commercial zone district. The proposed use and development of the hotel is compliant with the Hanford Municipal Code. Any other improvements required for public health, safety, and welfare have been applied to the project as conditions of approval in Site Plan Review No. 2019-02 and the resolution.

THEREFORE, BE IT FURTHER RESOLVED that the Planning Commission has determined that Conditional Use Permit No. 2019-01 shall be approved, subject to the conditions of approval for Site Plan Review No. 2019-02, attached as **Exhibit C,** and the following conditions:

1. That an approved permit shall expire and shall become null and void two (2) years after the date of approval unless, prior to expiration a building permit is issued and construction commenced or the use has commented.

PASSED AND ADOPTED at a regular meeting of the Hanford City Planning Commission by the following vote:

AYES: Commissioners
NOES: Commissioners
ABSTAIN: Commissioners
ABSENT: Commissioners

STATE OF CALIFORNIA)
COUNTY OF KINGS) ss
CITY OF HANFORD)

I, **DARLENE R. MATA**, Secretary of the City of Hanford Planning Commission, do hereby certify the foregoing Resolution was duly passed and adopted by the Planning Commission of the City of Hanford at a regular meeting thereof held on the 26th day of February 2019.

Darlene R. Mata, Secretary

Exhibit A
Site Plan No. 2019-02

Attachment: Resolution No. 2019-04 (PUD 2019-01, CUP 2019-01 Fairfield Inn)

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Exhibit B
Elevations

1 EAST ELEVATION

2 SOUTH ELEVATION

3 WEST ELEVATION

EXTERIOR FINISH KEY

FAIRFIELD INN

EXTERIOR ELEVATIONS

A301

Attachment: Resolution No. 2019-04 (PUD 2019-01, CUP 2019-01 Fairfield Inn)

Exhibit C
Site Plan Review No. 2019-02 Approval Letter

Attachment: Resolution No. 2019-04 (PUD 2019-01, CUP 2019-01 Fairfield Inn)

City of HANFORD

CALIFORNIA 93230
CITY OFFICES 317 NORTH DOUTY STREET

MAYOR
SUE SORENSEN
VICE-MAYOR
JOHN DRAXLER
COUNCIL MEMBERS
MARTIN DEVINE
FRANCISCO RAMIREZ
ART BRIENO
CITY MANAGER
DARREL L PYLE
CITY ATTORNEY
ROBERT M DOWD

DATE: February 21, 2019

PROJECT: Site Plan Review 2019-01 (502-1051)

APPLICANT: New Rooms Enterprises, LLC

LOCATION: East of Aquifer Drive, north of Glendale Avenue (APN 011-030-002)

PROPOSAL: Fairfield Inn – Four-Story, 82-room hotel

ZONING: C-S Service Commercial

SITE PLAN REVIEW COMMITTEE REVIEW DATE: January 23, 2019

Enclosed for your review are the comments and decisions of the Site Plan Review Committee. Please review all comments, since they may impact your project:

☐ **RESUBMIT:** Major changes to your plans are required prior to accepting construction drawings for a building permit. A meeting with the Site Plan Review Committee is not required.

☐ **MEETING REQUIRED:** During site plan review, concerns were identified, schedule a meeting with the following prior to resubmittal:

- ☐ Planning
- ☐ Fire
- ☐ Solid Waste
- ☐ Wastewater
- ☐ Building
- ☐ Engineering
- ☐ Police
- ☐ Parks and Recreation

☒ **REVISE AND PROCEED**

- ☒ Approved subject to the following and the attached conditions of approval.
- ☒ Submit plans for a building permit between the hours of 8:00 a.m. and 4:00 p.m.
- ☒ Your Plans must be reviewed by:

- ☐ City Council
- ☐ Parking and Traffic Commission
- ☐ Other: _____
- ☒ Planning Commission **CUP; PUD**
- ☐ Parks and Recreation Commission

Signed,

Gabrielle Myers

Gabrielle Myers, Associate Planner
Community Development Department

February 21, 2019
DATE

Attachment: Resolution No. 2019-04 (PUD 2019-01, CUP 2019-01 Fairfield Inn)

EXPIRATION

A site plan approval shall expire one (1) year from its approval date, unless a building permit application has been submitted or the use has commenced. Prior to expiration, the Community Development Director may extend the permit expiration date by one (1) year if there is substantial evidence that the applicant is diligently pursuing building permit approval or commencement of the use (Hanford Municipal Code Section 17.72.070).

CALIFORNIA ENVIRONMENTAL QUALITY ACT

Site Plan Review is a ministerial action, therefore not subject to the California Environmental Quality Act (CEQA) (CEQA Guidelines 15268 and MC 17.70.070). **Exemption No. 2019-06**

COMMENTS AND CONDITIONS OF APPROVAL

THE FOLLOWING DEPARTMENT COMMENTS AND CONDITIONS ARE ATTACHED:

- ☒ PLANNING
- ☒ BUILDING
- ☒ ENGINEERING
- ☒ SOLID WASTE
- ☐ WASTEWATER
- ☐ POLICE
- ☒ FIRE
- ☐ PARKS AND RECREATION

DEFENSE AND INDEMNIFICATION PROVISION

That the applicant shall defend, indemnify, and hold harmless the City of Hanford ("City"), its officials, officers, employees, representatives, agents and attorneys, from and against all claims, damages, losses, judgments, liabilities, expenses and other costs, including litigation costs and attorney's fees, arising out of, resulting from, or in connection with, the City's act or acts leading up to and including approval of any environmental document and/or granting of any approvals relating to the Project. Applicant's obligation to defend, indemnify and hold the City harmless specifically includes, but is not limited to, any suit or challenge by any third party against the City which challenges or seeks to set aside, void or annul the legality or adequacy of any environmental document approved by the City or any approval related to the Project

APPLICANT'S STATEMENT (Must be signed prior to issuance of a building permit)

I have reviewed a copy of the Site Plan Review Approval No. 2019-02 and I understand that the proposed construction and/or land use is dependent upon the fulfillment of the conditions of approval and construction of all required public improvements prior to use, inauguration or occupancy, unless other arrangements are approved.

Applicant or Authorized Representative

_____

PLANNING DIVISION
SITE PLAN REVIEW COMMENTS

MEETING DATE: January 23, 2019
SITE PLAN NUMBER: 2019-02
CONTACT: Gabrielle Myers, Associate Planner: (559) 585-2578

General Plan Designation: Service Commercial

Zoning: C-S

Other Special Districts: N/A

Planning Division Recommendation ☒ Revise and Proceed ☐ Resubmit

The project does meet the requirements of the Hanford Municipal Code, development standards and other codes and policies.

Required Entitlements:

- Conditional Use Permit, the use of a hotel requires a conditional use permit in the C-S Service Commercial zone district.
- Planned Unit Development, due to the cross-access and shared driveway proposed for the site, a planned unit development is required.
- Lot Line Adjustment, a lot line adjustment is required in order to adjust the lot lines and merge, as proposed.
- Reciprocal Use Agreement – a Reciprocal Use Agreement must be recorded with the Kings County Recorder's Office for shared use of the driveway.

General Requirements:

1. That approval of this project does not exempt compliance with all applicable sections of the Zoning Ordinance, Public Works Improvement Standards, fees, or other City Ordinances.
2. That all approved proposals of the applicant be conditions of development, if not mentioned herein.
3. That the site be developed according to the approved site plan, titled Site Plan Review No. 2019-02 with minor modifications to be approved by the Community Development Department.
4. That no expansion of the use which would tend to increase the projected scale of operations beyond the scope and nature described in this Site Plan Review shall be permitted except upon application for, and approval of, modification of this application according to all procedures and requirements thereof.

Attachment: Resolution No. 2019-04 (PUD 2019-01, CUP 2019-01 Fairfield Inn)

5. That if cultural resources are discovered during construction or related activities, all work shall be halted and a qualified archeologist and the City of Hanford shall be notified. The find shall be properly investigated and appropriate measures are to be taken before construction may continue.

C-S Zone Requirements (all checked shall apply)

Cultural Resources:

☒ That if cultural resources are discovered during construction or related activities, all work shall be halted and a qualified archeologist and the City of Hanford shall be notified. The find shall be properly investigated and appropriate measures are to be taken before construction may continue.

Building Setback Areas (17.20.060)

☒ That the appropriate setbacks be maintained, as follows:

- ☒ The front building setback area shall be 15 feet, measured from the front lot line.
- ☒ The rear building setback may be zero, measured from the rear lot line.
- ☒ The side building setbacks may be zero, measured from the side lot lines.
- ☐ The street side building setback shall be 15 feet, measured from the street-side lot line.

Off Street Parking: (Section 17.54).

☒ That the applicant shall a minimum of 87 parking stalls on site, four of which are ADA-accessible, based on the ratio one stall per guest room, plus one stall per employee.

Calculation:

82 bedrooms + 5 full-time employees = 87 parking stalls minimum

☒ That the standard parking space shall not be less than 18.5 feet in length and nine feet in width, exclusive of aisles and access drives (Section 17.54.110 A).

☒ That the maximum number of compact-car parking spaces is limited to 30 percent of the total parking spaces required. A compact parking space shall not be less than 16 feet in length and 8 feet in width, and marked for compact cars (Section 17.54.110 B. and C).

- ☒ There shall be no more than four compact spaces adjacent to each other.

☒ That parking for bicycles and low-emission vehicles shall be provided in accordance with the latest adopted version of the California Building Code (Section 17.54.190).

☒ In the commercial zone district, not less than five percent of the interior square footage of a parking area shall be landscaped with trees and other plant materials suitable for

ornamentation. **Parking areas are to have one tree placed at every four lineal parking stalls.**

Signage: (Section 17.56).

☒ That any/all signs proposed for this development shall be subject to the requirements and prescribed in Chapter 17.56 of the Hanford Municipal Code. **A separate application is required**.

Fencing and Walls: (Section 17.20.130)

☒ That no fence or wall shall be placed in front of or within any landscaped area located next to a street.

☒ That the open storage of materials and equipment attendant to a use shall be permitted only within an area surrounded or screened by a solid wall or fence seven feet minimum in height.

☒ That any proposed fencing on the site be maintained in good repair.

☒ That no fence or wall shall be placed within the public right-of-way.

☒ That a masonry fence exceeding three (3) feet in height shall require engineered footings and a building permit. All other fencing exceeding seven (7) feet in height shall require engineered post footings and a building permit.

☒ That no hedge, shrub, fence, or wall exceeding the three (3) feet in height, or four (4) feet in height if the upper one (1) foot is fifty (50) percent or more open shall be planted, placed, or maintained within the twenty-five (25) feet corner sight triangle of a corner lot, or along a front or street side property line where the hedge, shrub, fence, or wall creates a traffic or pedestrian hazard as determined by the Community Development Director.

Landscaping: (Section 17.20.120 and 17.52).

☒ **Landscaping shall be provided and permanently maintained in a setback area not less than 15 feet from a lot line adjoining a street.**

☒ General Design Standards: the following features shall be incorporated into the design of the proposed landscape and shown on the required landscape plans:

- ☒ Publicly maintained landscape areas shall be separated from privately maintained landscape areas with, at a minimum, a four (4) inch wide concrete mow strip.
- ☒ Pedestrian access to sidewalks and structures shall be integrated with the design of landscaped areas.
- ☒ Landscape adjacent to driveways and parking areas shall be protected from vehicle damage through the provision of a minimum six (6) inch high and six (6) inch wide concrete curb.
- ☒ Concrete mow strips, when used, shall be a minimum of four (4) inches in width.

Attachment: Resolution No. 2019-04 (PUD 2019-01, CUP 2019-01 Fairfield Inn)

- ☒ Trees and shrubs shall be planted so that at maturity they do not interfere with utility lines and traffic safety sight areas.
- ☒ Trees and shrubs shall be planted and maintained in a manner that protects the basic rights of adjacent property owners, particularly the right to solar access.
- ☒ Trees planted within five (5) feet of sidewalks or curbs shall have an eighteen (18) inch by ten (10) foot long linear root barrier placed at each edge of the sidewalk or face of curb, centered on the tree.

☒ Plant materials. Plant materials shall be selected and installed in accordance with the following requirements:

- ☒ The size of ten (10) percent of the trees to be planted shall be twenty-four (24) inch box or larger. The remaining trees shall be sized fifteen (15) gallons or larger.
- ☒ The size of seventy (70) percent of plants and shrubs shall be at five (5) gallon or larger. The remaining plants and shrubs shall be sized one (1) gallon or larger.
- ☒ The size of groundcover at planting shall be one (1) gallon or larger.
- ☒ Groundcover shall be designed to have one hundred (100) percent coverage within two (2) years.
- ☒ Drought tolerant plant material and climate appropriate species shall be emphasized in the design.

☒ That the landscaped area shall be planted with live and healthy plant materials suitable for screening/or ornamenting the site. Landscaped areas shall be watered by automatic systems and designed and developed in accordance with Chapter 12.08 and the most recent State Model Water Efficient Landscaped Ordinance.

☒ That no fence, hedge, or shrub shall be installed, planted, or maintained along a street frontage, which creates a traffic or pedestrian hazard.

Outdoor Lighting Standards (Section 17.50.140)

☒ That all lights and light fixtures, except public street lights, shall be located, aimed or shielded so as to minimize light trespassing across property boundaries or skyward.

☒ That building mounted lighting fixtures shall be attached only to the walls of the building. The top of a light fixture attached to a building wall shall not be higher than the top of the building parapet or the top of the roof eave, whichever is lower.

☒ That the canopy ceiling light fixtures shall be recessed or the sides of the lens area shall be shielded, in order to eliminate emission of horizontal light.

☒ That the height of freestanding light fixtures, including freestanding parking lot fixtures, shall be measured from the top of a light fixture to the adjacent grade at the base of the support for that light fixture and shall not exceed 50 feet.

Attachment: Resolution No. 2019-04 (PUD 2019-01, CUP 2019-01 Fairfield Inn)

Dust Control:

☒ That the appropriate dust-control practices of the San Joaquin Valley Air Pollution Control District shall be implemented.

☒ That the any necessary permits be obtained through the San Joaquin Valley Air Pollution Control District.

BUILDING DIVISION
SPR 2019-002 (502-1051) 4 Story Hotel
1-18-19

Contact Building Official: Tom Webb (559) 585-2584
Concerning questions that you may have on the conditions listed below:

1. That building permits must be obtained from the City Building Division for any structural, plumbing, electrical or mechanical work being done.

2. That no building or structure shall be used or occupied, and no change in the existing occupancy classification of building or structure or portion thereof shall be made until the building official has approved the change and issued a Certificate of Occupancy.

3. That detailed dimensioned plans be provided to the Building Division prior to obtaining construction permits.

4. That the buildings will require plans and calculations signed by an architect or engineer licensed to practice in the State of California. Submittal shall consist of:

   4.1 1 copy of the City of Hanford Permit Application form
   4.2 6 complete sets of Drawings, unless noted, including:
      4.2.1 Grading Plan (Civil Drawings)
      4.2.2 Site Plan
      4.2.3 Landscaping Plan
      4.2.4 Architectural Drawings
      4.2.5 Structural Drawings
      4.2.6 Electrical Drawings
      4.2.7 Mechanical Drawings
      4.2.8 Plumbing Drawings
      4.2.9 Commissioning Plan per 2016 CEnC section 120.8
      4.2.10 Planning Dept. "Conditions of Approval" or "Resolution" printed on the drawings and part of the drawing submittal
      4.2.11 A minimum of 2 sets shall be stamped and wet signed by an Architect or Engineer licensed in the State of California.
   4.3 2 complete sets of documentation, unless noted, including:
      4.3.1 Architectural Specifications
      4.3.2 Structural Calculations
      4.3.3 Electrical Calculations, if not included on the drawings
      4.3.4 Mechanical Calculations, if not included on the drawings
      4.3.5 Plumbing Calculations, if not included on the drawings
      4.3.6 Energy Calculations, if not included on the drawings
      4.3.7 CalGreen Compliance, if not included on plans
      4.3.8 Commissioning Plan, if not included on drawings
      4.3.9 A minimum of 2 sets shall be stamped and wet signed by an Architect or Engineer licensed in the State of California.
      4.3.10 **Landscape Calculations per Hanford City Ord.**

5. That the site, as well as the buildings, shall be made accessible and usable by the disabled in accordance with the California Building Code, Chapter 11B.

6. That a preliminary soils report, prepared by a qualified soils engineer, be provided to the Engineering and Building Divisions prior to approval of site improvement plans. The soils report shall comply with the 2016 California Building Code, Chapter 18.

7. That a final soils report, prepared by a qualified soils engineer, be provided to the Engineering and Building Divisions before issuance of building permits.

Attachment: Resolution No. 2019-04 (PUD 2019-01, CUP 2019-01 Fairfield Inn)

8. That a school impact fee of $0.61(or revision thereof) for each square foot of new building area be paid when building permits are issued. (Any waiver of fees must be obtained from the school district)

9. That Kings County Impact fees apply.

10. That all special inspection reports be submitted to the Building Division when obtained during construction and prior to final inspection.

11. That all construction shall conform to the 2016 Edition, California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Fire Code, California Energy Code and CalGreen. **Also, with the City of Hanford, Water Efficient Landscape Design and Installation Ordinance, Chapter 12.08.**

12. That the owner is responsible for compliance with the Americans with Disabilities Act. By federal law your facility must be made accessible to the highest degree possible.

13. That the applicant provide a complete set of AS-BUILT drawings on CD, in "tif" format, to the Building Division prior to Final Inspection.

14. That the Building Division conducts and approves a Zoning Health & Safety inspection prior to the occupancy of the building.

15. That the address for the building will be 2040 Glendale Avenue.

Hanford Fire Department

Contact Fire Chief Chris Ekk @ 559-585-2545 or cekk@cityofhanfordca.com
concerning questions that you may have on the following conditions.

Site Plan Review

Date: **January 23, 2019**

Project #: **SPR 2019-02 (502-1051) CUP 2019-01 PUD 2019-01 (509-0097) Fairfield Inn Glendale Ave.**

General Instructions

1. **Approval of this project does not exempt compliance with all applicable sections of the City adopted fire codes and local fire ordinances.**
2. All fire protection systems must be installed and operational prior to occupying the building.
3. All permits shall be issued and fees paid prior to scheduling inspections with the Fire Department. To schedule appointments for inspections, please email at grocha@cityofhanfordca.com and dbodiroga@cityofhanfordca.com
4. Scope of work shall be clearly stated on all plans submitted for permit.
5. All Deferred Submittals shall be listed on the building plan Title Page. All deferred submittals are required to be submitted within 30-days of building permit issuance.

The following comments are applicable if checked:

1. ☐ No comments.
2. ☒ This project must comply with latest applicable codes.
3. ☒ Project must meet minimum fire flow requirements per the table in Appendix B & C of the 2016 California Fire Code.
4. ☒ If a new fire hydrant flow test is required, contact the fire department for submittal requirements.
5. ☒ Based on the occupancy classification, an automatic sprinkler system is required for this project. ***A separate fire department permit is required.*** Contact the fire department for submittal process.
   - ☐ NFPA 13 System per CFC 903.3.1.1
   - ☒ NFPA 13R System per CFC 903.3.1.2 (Group R occupancies)
   - ☐ NFPA 13D System per CFC 903.3.1.3 (one and two-family dwellings, Group R-3, and townhouses)
6. ☒ For automatic sprinkler systems, ***a separate permit must be submitted*** for the underground system supplying the sprinkler system. Contact the fire department for submittal information.

Attachment: Resolution No. 2019-04 (PUD 2019-01, CUP 2019-01 Fairfield Inn)

7. ☒ Fire Riser Room: All new buildings that require an automatic fire sprinkler system shall contain a separate room to house the fire riser and FDC inside of it and shall have the following building elements:
   - At least one man door shall be provided - only exterior door(s) are allowed,
   - The fire riser room and the door shall be large enough to accommodate repairs and/or maintenance needed by the use of tools and the removal and/or replacement of parts/pipe to the fire riser or FDC; suggested size 4' x 4' room.
   - One-hour rated construction,
   - Fire sprinkler head coverage required,
   - Normal and emergency back-up lighting shall be installed inside the fire riser room,
   - The exterior of the fire riser door shall have permanent signage stating FIRE RISER ROOM in a contrasting color to background,
   - For existing buildings: please contact the fire department for requirements.

8. ☒ When a sprinkler system is required with 21 or more sprinkler heads, the system shall be monitored by a Central Station Service. Fire alarm and detection systems required by Chapter 9 of the currently adopted edition of the California Building Code (CBC) and CFC shall be installed per NFPA 72. ***A separate fire department permit is required*** for fire sprinkler monitoring and/or fire alarm systems required by the latest edition of the CBC. Contact the fire department for submittal process.

9. ☒ A hydrant will be required within 50 feet of the fire department connection. **Knox FDC Plugs, Model #3401**, are required on all FDC's. The ordering of Knox Box products can be done directly at www.knoxbox.com or an order form can be obtained from the fire department. Install one hydrant within 50' west of the FDC location. Coordinate with fire department on underground permit.

10. ☒ When any portion of the facility or building to be protected is more than 400 feet from a hydrant on a fire apparatus access road as measured by an approved route around the exterior of the building, on-site fire hydrants and mains shall be provided where required by the fire code official.

11. ☒ Depending on the location of the existing fire hydrant(s), additional fire hydrants may be required. All hydrants must be in place and accepted by the fire department prior to any combustibles being brought onto the site.

12. ☐ No additional hydrants are necessary for this project.

13. ☒ Number of additional hydrants necessary for this project: 3 Coordinate with fire department on underground permit.

    1. Install one hydrant west of FDC within 50'.
    2. Install one hydrant in parking lot in southeast corner.
    3. Hydrant in northeast corner of parking lot on site plan (acceptable)

Attachment: Resolution No. 2019-04 (PUD 2019-01, CUP 2019-01 Fairfield Inn)

Existing hydrant on Glendale east of eastern entrance acceptable.

14. ☒ Fire hydrant spacing shall be as follows:

a. **Residential development**: one hydrant shall be installed at 500 foot intervals.
b. **Commercial development**: one hydrant shall be installed at 300 foot intervals.
c. Or as required by Appendix C of the California Fire Code

15. ☒ Fire hydrant protection posts shall be installed at all fire hydrants that are subject to vehicle damage.

16. ☒ Approved fire apparatus access roads shall be provided for every facility, building, or portion of a building constructed or moved onto or with the City of Hanford. It shall extend to within 150 feet of all portions of the facility and all portions on the exterior walls of the first story of the buildings as measured by an approved route around the exterior of the building or facility.

17. ☐ All dead-end access roads in excess of 150 feet must be provided with an approved turn-around or hammer head complying with City standards.

18. ☐ Existing access roads are sufficient.

19. ☒ All access road shall not be less than 20 feet wide and 13 feet 6 inches in height.

East and west entrances at 20 feet wide are acceptable.

Roof over entrance on east side must be at least 13 feet 6 inches in height.

Access road with a hydrant, the minimum road width shall be 26 feet exclusive of shoulders. Aerial fire apparatus access roads (CFC D105.1): Where the vertical distance between the grade and the highest roof surface exceeds 30 feet, approved aerial fire apparatus access roads shall be provided. CFC D105.2: Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders, in the immediate vicinity of the building or portion thereof.

Access roads near the building are acceptable at 26 feet wide.

20. ☒ Access road turning radius for fire apparatus is as follows (show all three on plans):

a. 20 feet 1 inch inside turning radius (inside rear wheel)
b. 36 feet 3 inch curb to curb (outside front wheel)
c. 44 feet 6 inch outside radius (outside front bumper)

Show that turning radius requirements are met throughout the parking lot.

21. ☐ Additional access roads may be required per CFC 2016 Section 503.1.2. The fire

Attachment: Resolution No. 2019-04 (PUD 2019-01, CUP 2019-01 Fairfield Inn)

code official is authorized to require more than one fire apparatus access road based on the potential for impairment of a single road by vehicle congestion, condition of terrain, climatic conditions or other factors that could limit access.

22. ☒ Traffic calming devices shall not be installed onto fire department emergency access roads unless prior approval is obtained from the Hanford Fire Department.

23. ☒ Areas identified as "Fire Lanes" must be identified as such per requirements set forth in the California Vehicle Code Section 22500.1.
   a. Access roads 20-26 feet in width. Fire lanes shall be on both sides of the fire apparatus access roads.
   b. Access roads 26 to less than 32 feet in width: Fire lanes shall be on one side of the fire apparatus access roads.
   c. Access roads 32 feet in width or more: No fire lanes required.
   Coordinate and confirm with the fire department later in the process.
   No parking east of the covered parking at the entrance.

24. ☒ Temporary or permanent fire department access roads shall be constructed in accordance with City Standards ST-36. All weather access roads shall be in place prior to any combustible construction being brought onto the premises unless approved by the fire department.

25. ☐ Locked gates installed across fire department access roads:
   a. **Manual gates** with a chain lock require a **Knox Padlock, Model #3770**, to be installed on them; or a **Knox Box, Model 3200 Series**, shall be installed on the exterior of the gate and a key to the lock on the gate must be placed in the Knox Box.
   b. **Electric gates** shall be equipped with an electric **Knox Key Switch, Model 3502**, at the gate location.
   c. In case of a loss of power, electrically operated gates shall have a means of back-up power or shall default in the open position for immediate fire department access.
   d. At no time shall the width of the fire department access road be reduced below **20-feet wide through or at any gates** along the fire departments' emergency access roads due to protruding objects from gate supports, frames, signs, access booths, curbs, etc.

26. ☒ A Knox Box will be required. Keys that open all locked areas will also be required and placed in the Knox Box. The ordering of Knox Box products can be done directly at www.knoxbox.com or an order form can be obtained from the fire department.

27. ☒ All address numbers shall be installed onto the building and shall be visible from the frontage street. The color of the address numbers shall be in a contrasting color to the building.

Size of Address Numbers:

Attachment: Resolution No. 2019-04 (PUD 2019-01, CUP 2019-01 Fairfield Inn)

- Downtown area (existing buildings): 4-inch numbers,
- Buildings 20-ft. or less from the street: 6-inch numbers,
- Buildings 21- to 40-ft. from the street: 8 inch numbers,
- Buildings more than 40-ft. from street: 12 inch numbers.

28. ☐ Commercial cooking equipment that produce grease laden vapors shall be provided with a Type I hood. ***A separate permit is required for the Type I hood***. Contact the fire department for submittal information.

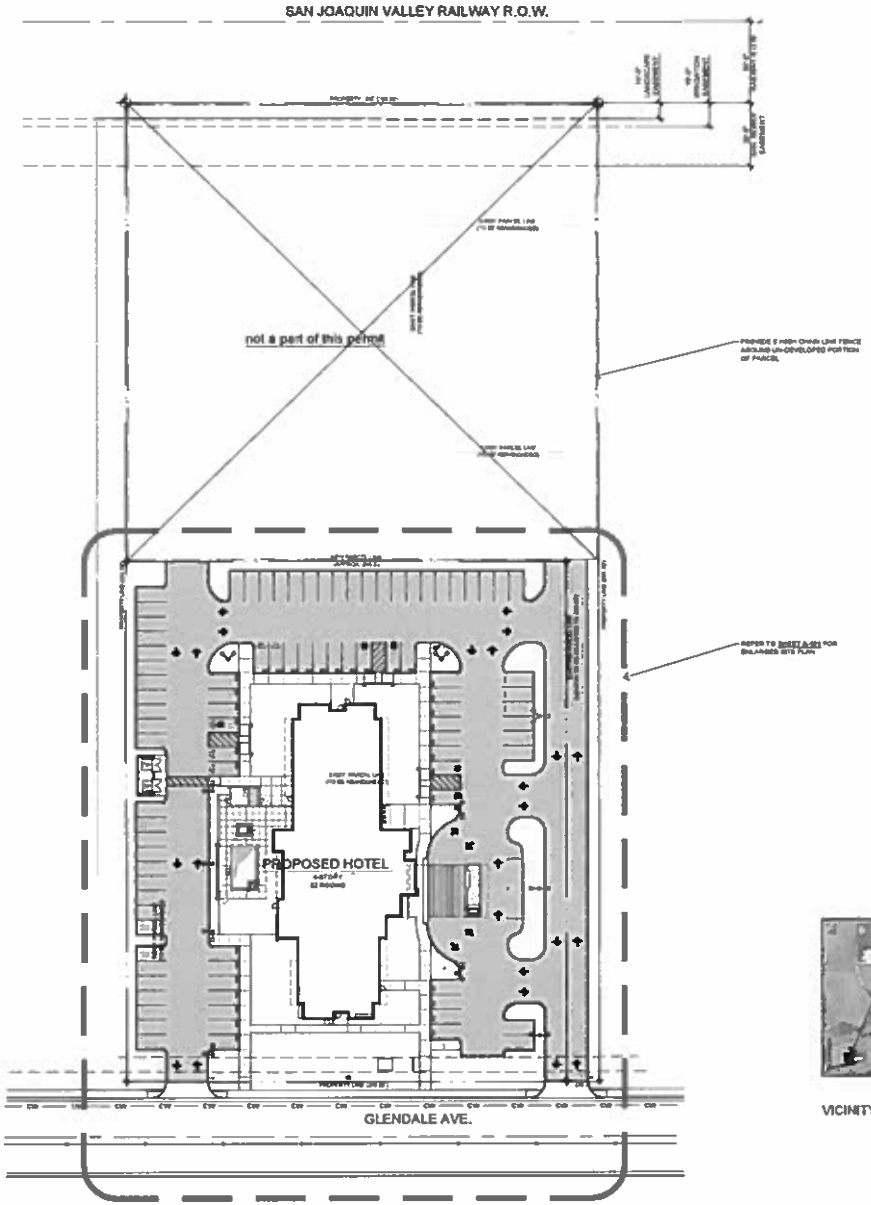
29. ☐ All commercial cooking appliances creating grease laden vapors shall have a K-Class fire extinguisher within 30-feet of cooking appliances in accordance with the most currently adopted edition of the CFC.

30. ☐ ***A separate permit is required*** for all hazardous material and/or flammable and combustible liquids, gases, solids, etc., over the exempt amounts set forth in the latest adopted edition of the California Fire Code.

31. ☐ ***A fuel tank permit is required*** for underground and aboveground gasoline/LPG/Diesel.

32. ☐ Combustible high-piled storage over 12 feet ***requires a separate fire department review and permit.*** Contact the fire department for further information.

Attachment: Resolution No. 2019-04 (PUD 2019-01, CUP 2019-01 Fairfield Inn)



VICINITY MAP: HANFORD CA

SITE PLAN LEGEND:

MARK	DESCRIPTION
	UNLESS NOTED OTHERWISE
	8' x 18' INTERNAL STALL SYMBOL OF ACCESSIBILITY PAINTED ON PAVEMENT AT ACCESSIBLE PARKING SPACE. PROVIDE POLE-MTD. PARKING SIGN @ FRONT OF EACH STALL & OUTSIDE OF CAR OVERHANG AREA. REFER TO DETAIL _____ SHT. A-501 / DET. 1 & 2
	ACCESS AISLE AT ACCESSIBLE PARKING REFER TO DETAIL _____ SHT. A-501 / DET. 3
* * * * *	INDICATES ACCESSIBLE PATH OF TRAVEL, VERIFY w/ CIVIL 5% MAX. SLOPE IN DIRECTION OF TRAVEL 2% MAX. CROSS SLOPE
— — —	INDICATES NEW PAINTED CURB FOR FIRE LANE REFER TO DETAIL _____ SHT. A-501 / DET. 1 & 2
	NEW CONCRETE PAVING / SIDEWALK
	NEW A.C. PAVING WITH COMPACTED AGGREGATE BASE PER CIVIL DRAWINGS AND GEOTECH REPORT & CITY OF HANFORD 9 IN STANDARD SECT. REPAIR TO CIVIL DRAWINGS FOR EXTENT OF PAVING AND NEW UNDERGROUND UTILITY PLAN. PATCH & REPAIR PAVING DISTURBED BY INSTALLATION OF NEW UTILITY PLAN LINE
	INDICATES NEW ON-SITE POLE MTD. LIGHT FIXTURES REFER TO ELECTRICAL SITE PLAN
L.S.	LANDSCAPE AREA REFER TO LANDSCAPE PLANS
E.A.R.	INDICATES VEHICLE PARKING STALL TO BE MARKED "CLEAN AIR/LOW EMITTING" PER CALGREEN § 5.106.5.2 REFER TO DETAIL _____ SHT. A-501 / DET. 3B
EVCS	INDICATES VEHICLE PARKING STALL FOR ELECTRICAL VEHICLE CHARGING STATION PER CALGREEN § 5.106.5.3 REFER TO ELECTRICAL SITE PLAN
6	INDICATES NUMBER OF PARKING STALLS IN ROW

NOTE:

REFER TO CIVIL PLANS FOR ALL EXISTING PROPERTY LINES, SITE DATA, BRASS HORIZONTAL CONTROL AND BUILDING LOCATIONS, ETC.

SITE ACCESSIBILITY NOTES:

1. ACCESSIBLE PATH OF TRAVEL SHALL BE CONFIGURED TO BE ACCESSIBLE AND HAVE MAXIMUM 10" CHANGE IN ELEVATION
   - 36 X MINIMUM OF 48" IN WIDTH
   - HAVE A MAX. OF 5% SLOPE IN DIRECTION OF TRAVEL
   - HAVE A MAX. OF 2% CROSS SLOPE (WIDTH)
   - HAVE DETECTABLE WARNINGS WHERE THE PATH OF TRAVEL CROSSES VEHICULAR WAYS
   - WHERE NECESSARY TO CHANGE ELEVATION OF A SLOPE EXCEEDING 5% BY 30 SHALL HAVE AN ACCESSIBLE RAMP
2. REFER TO SHEETS A-501 A-502 A-503 FOR TYPICAL DETAILS PERTAINING TO ACCESSIBLE ELEMENTS OF THE PROJECT.

PROJECT INFORMATION

APPLICANT/DEVELOPER	INFINITE HOSPITALITY ATTN: ANIL CHANDRA 240 E. ACEQUIA VISALIA, CA 93277
PROJECT ADDRESS	GLENDALE AVENUE HANFORD CA
APN	01-050-002, 003 & 004
TOTAL SITE AREA NOTIL PARCEL REMAINING PARCEL	4 ACRES (174,240 S.F.) 1.38 ACRES (60,200 S.F.) 2.62 ACRES (97,974 S.F.)
ZONING	C-2
TOTAL ROOMS PROPOSED	42
OCCUPANCY GROUPS	R1 & A2 & S2
CONSTRUCTION TYPE	V-A w/ (1) 2-HR FIRE WALLS
FIRE SPRINKLERS	YES - NFPA-13 w/CLASS I STANDPIPES
PROPOSED STORIES	4
PROPOSED BUILDING HEIGHT	47' to A.F. ROOF PARAPET 50' to A.F. MAX PARAPET 52' to A.F. COVER

SETBACKS	REQUIRED	PROPOSED
FRONT	0'-0"	+/-0'-0" (COMPLIES)
SIDE	0'-0"	+/-0' (COMPLIES)
REAR	0'-0"	+/-0' (WEST), +/-60' (EAST) (COMPLIES)

LANDSCAPING REQUIRED

PROPOSED HOTEL
TOTAL LANDSCAPING PROVIDED: 41,000 S.F.

LOT COVERAGE
BUILDING COVERAGE: 30%

BUILDING AREA OF NEW HOTEL

1ST FLOOR	31,000 S.F.
2ND FLOOR	32,000 S.F.
3RD FLOOR	32,000 S.F.
4TH FLOOR	32,000 S.F.
TOTAL BUILDING AREA	127,000 S.F.

PARKING DEVELOPMENT DATA

PARKING REQUIRED
PARKING PER CITY OF HANFORD REQUIREMENTS
1 PER ROOM + 1 PER EMPLOYEE
42 ROOMS + 2 EMPLOYEES = 44

4% CLEAN AIR VEHICLE SPACES REQUIRED PER CALGREEN TABLE 5.106.5.2

4% STALLS w/ FACILITIES FOR FUTURE ELECTRIC VEHICLE CHARGING STATIONS PER CALGREEN TABLE 5.106.5.3.3 (RANGED AS 0% CAPABLE PER CALGREEN § 5.106.5.3.3)

PARKING PROVIDED
STANDARD STALLS (8' x 19'-0") = 67 PROVIDED
ACCESSIBLE STALLS = 5 PROVIDED (INCL. 1 VAN ACCESSIBLE)
TOTAL: 72 STALLS

BICYCLE PARKING

SHORT TERM
5% OF TOTAL REQUIRED OFF STREET PARKING
44 x 5% = 2.2 = 1 STALL REQUIRED - 4 SPACES PROVIDED

LONG TERM REQUIRED
5% OF EMPLOYEE PARKING
4 x 5% = .2 = 1 STALL REQUIRED - 1 SPACE PROVIDED

NORTH

423 BRUCE AVE.
CLOVIS, CA 93611
559.435.3303

FAIRFIELD INN
GLENDALE AVE
HANFORD, CA

MASTER SITE PLAN

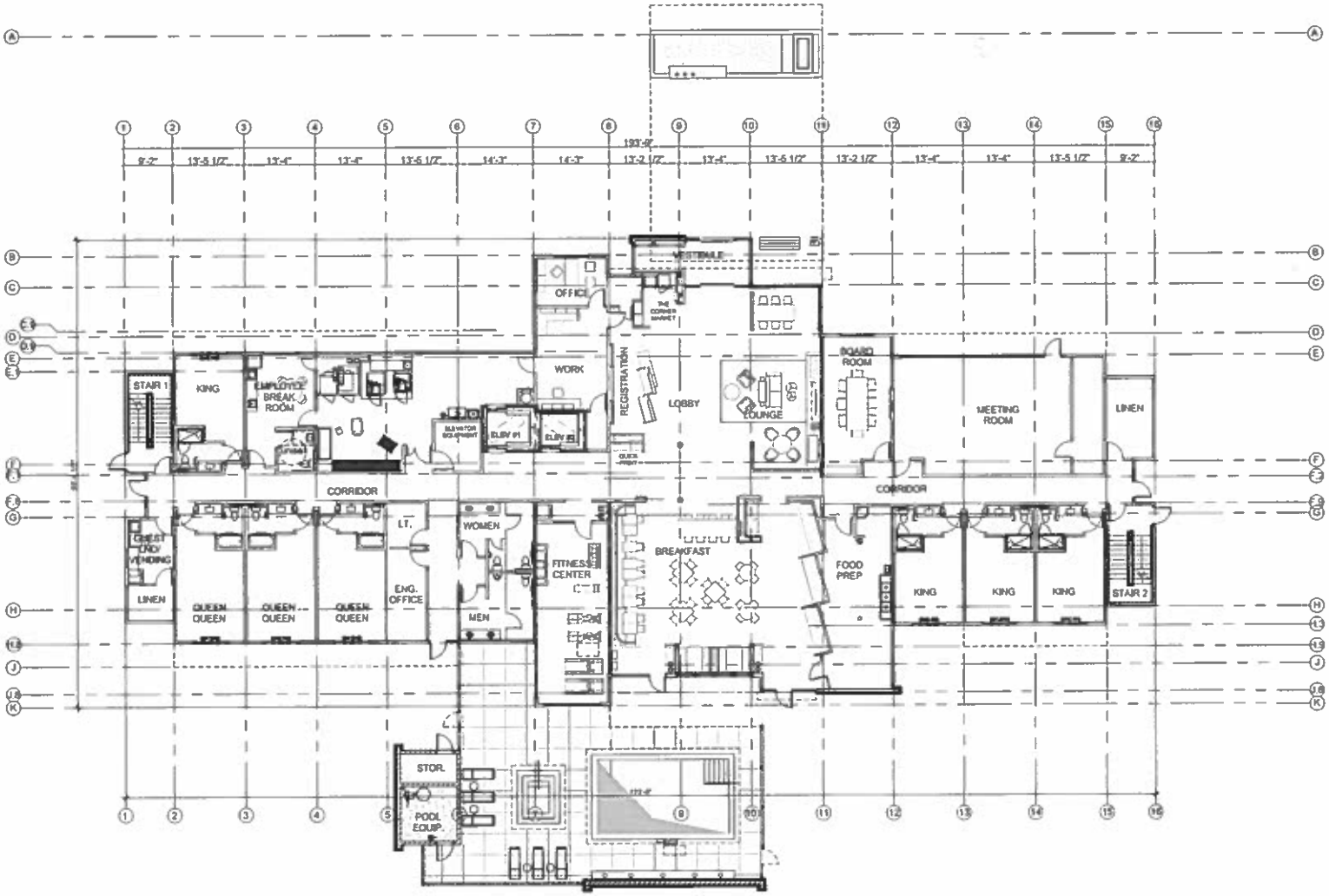
1" = 30'-0"

A-100

GENERAL NOTES:

Guest Room Type Schedule

[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]



REFERENCE NOTES	GENERAL NOTES	KEYNOTES
A. REFER TO DESIGN STANDARDS FOR REQUIREMENTS RELATED TO THIS SHEET B. REFER TO DESIGN STANDARDS "ELEVATOR" CHAPTER FOR ELEVATOR PLANNING REQUIREMENTS INCLUDING ELEVATOR TYPE, SIZE, CAPACITY, PERFORMANCE CRITERIA AND FEATURES PER SPECIFIC PROJECT SIZE AND LAYOUT. C. REFER TO 000 SERIES DRAWINGS FOR ENLARGED PUBLIC SPACE PLANS AND DETAILS. D. REFER TO 200 SERIES FOR GUESTROOM PLANS AND DETAILS.	A. SIGNAGE SUPPLIER MUST SUBMIT A COMPREHENSIVE EXTERIOR GRAPHIC / SIGNAGE LAYOUT (INCLUDING ELEVATIONS), FULLY COORDINATED WITH ANY ELECTRICAL, ARCHITECTURAL OR OTHER WALL-MOUNTED ITEMS FOR REVIEW AND ACCEPTANCE.	1. INNER CORNER TRIM DOORS CONNECT TO DRYWALL IN TYPICAL DIST FURNITURE AT WALL IN BOTH ROOM TYPES - MINIMUM CEILING DROP. COORDINATE FURNITURE AND RELATED DEVICE LOCATIONS WITH APPROPRIATE DOOR CLEARANCE. REFER TO MARKETS DESIGN AND CONSTRUCTION STANDARDS FOR REQUIRED LOCATIONS OF CONNECTING DOORS 2. PROVIDE DOORS IN OPEN POSITION WITH THE ELECTROMAGNETIC HOLD-OPEN TIED TO FIRE ALARM SYSTEM 3. INDICATES PULL HT. 3rd EXTERIOR WALL PLANNING. 4. CONTINUOUS POOL DECK DRAIN. 5. POOL AND SPA, BY SEPARATE PERMIT - DESIGN / BUILD BY GENERAL CONTRACTOR - POOL DEPTH 5' MAX. / 3' MIN. 6. 60" HIGH DECORATIVE WROUGHT IRON FENCE AROUND POOL w/ 36" WIDE x 80" SELF CLOSING / SELF LATCHING GATES w/ PANIC HARDWARE & CARD KEY ACCESS 7. 5' HIGH GATE w/ PANIC HARDWARE - REFER TO _____ SHEET A-111 - PROVIDE w/ HARDWARE SET 141 8. ELECT. MAIN SWITCHGEAR @ EXTERIOR OF BLDG. - PAINT TO MATCH ADJACENT WALL SURFACE 9. 3rd FLOORED HALF-WALL BEHIND @ GUESTROOM LAVA TORY FOR PLUMBING PIPING @ ROOMS 212, 214, 217, 219, 219 & 220 - REFER TO PLUMBING PLANS

SYMBOLS LEGEND

MARK	DESCRIPTION
W.A.D.	WALLBOARD DIMENSION
1	WALL TYPE - REFER TO _____ SHT. A-000 / SET 01
WINDOW	WINDOW - REFER TO WINDOW SCHEDULE _____ SHT. A-701
3	KEYNOTE
101	DOOR - REFER TO DOOR SCHEDULE _____ SHT. A-701
101A	DOOR NUMBER
	EQUIPMENT TAG
	BATHROOM ACCESSORY MARK NO. SEE TOILET & BATH ACCESSORY MATRIX IN THE DESIGN GUIDE PROJECT MANUAL, CHAPTER 10700.
	FINISH TAG REFER TO THE INTERIOR FINISH PLAN WITHIN THE DESIGN GUIDE PROJECT MANUAL, CHAPTER.
	PLUMBING FIXTURE MARK NO. REFER TO THE INTERIOR DESIGN SPECIFICATION MANUAL.
	LIGHT FIXTURE MARK NO. TYPICAL. SEE LIGHT FIXTURE MATRIX IN DESIGN GUIDE PROJECT MANUAL, CHAPTER 2, ELECTRICAL DRAWINGS.
	PLUMBING FIXTURE MARK NO. TYPICAL. SEE PLUMBING FIXTURE MATRIX IN DESIGN GUIDE PROJECT MANUAL, CHAPTER 2, PLUMBING DRAWINGS.
LINEN	ROOM NAME
6'-8"	FINISH HEIGHT - ABOVE FIN. FLOOR
A	CABINET STANDARD DETAIL
	ACCESSIBLE ROOM w/ MOBILITY FEATURES
	INDICATE A ROOM w/ COMMUNICATION FEATURES - REFER TO GUESTROOM ELECTRICAL PLANS FOR POWER AND SIGNAL
	MAGNETIC DOOR HOLD OPEN TIED TO BUILDING ALARM SYSTEM - REFER TO DOOR SCHEDULE SHT. & ALARM DRAWINGS

FIRE RATING LEGEND

- 1HR-RATED ASSEMBLY
- 2HR-RATED ASSEMBLY

ALL SHALL TYPE/CONSTRUCTION ASSEMBLIES PLATFORM DEFINED ON PLANS

NOTE:

1. PENETRATIONS OF FIRE RESISTIVE WALLS, FLOORS, CEILINGS AND ROOF CEILINGS SHALL BE PROTECTED AS REQUIRED IN CBC SECTION 714.
2. PENETRATIONS OF AREA AND OCCUPANCY SEPARATION WALLS SHALL BE PROTECTED WITH THROUGH-PENETRATION FIRE STOPS AND MEMBRANE-PENETRATION FIRE STOPS IN ACCORDANCE WITH CBC SECTION 714.
3. PROJECT WILL INCLUDE THE USE OF NFPA 13 SPRINKLER SYSTEM WITHIN THE ATTIC SPACES OF THE ALL THE UNITS.

NORTH

425 SPRUCE AVE.
CLOVIS, CA 93611
559.438.3303

FAIRFIELD INN
CLINDALE AVE
HANFORD, CA

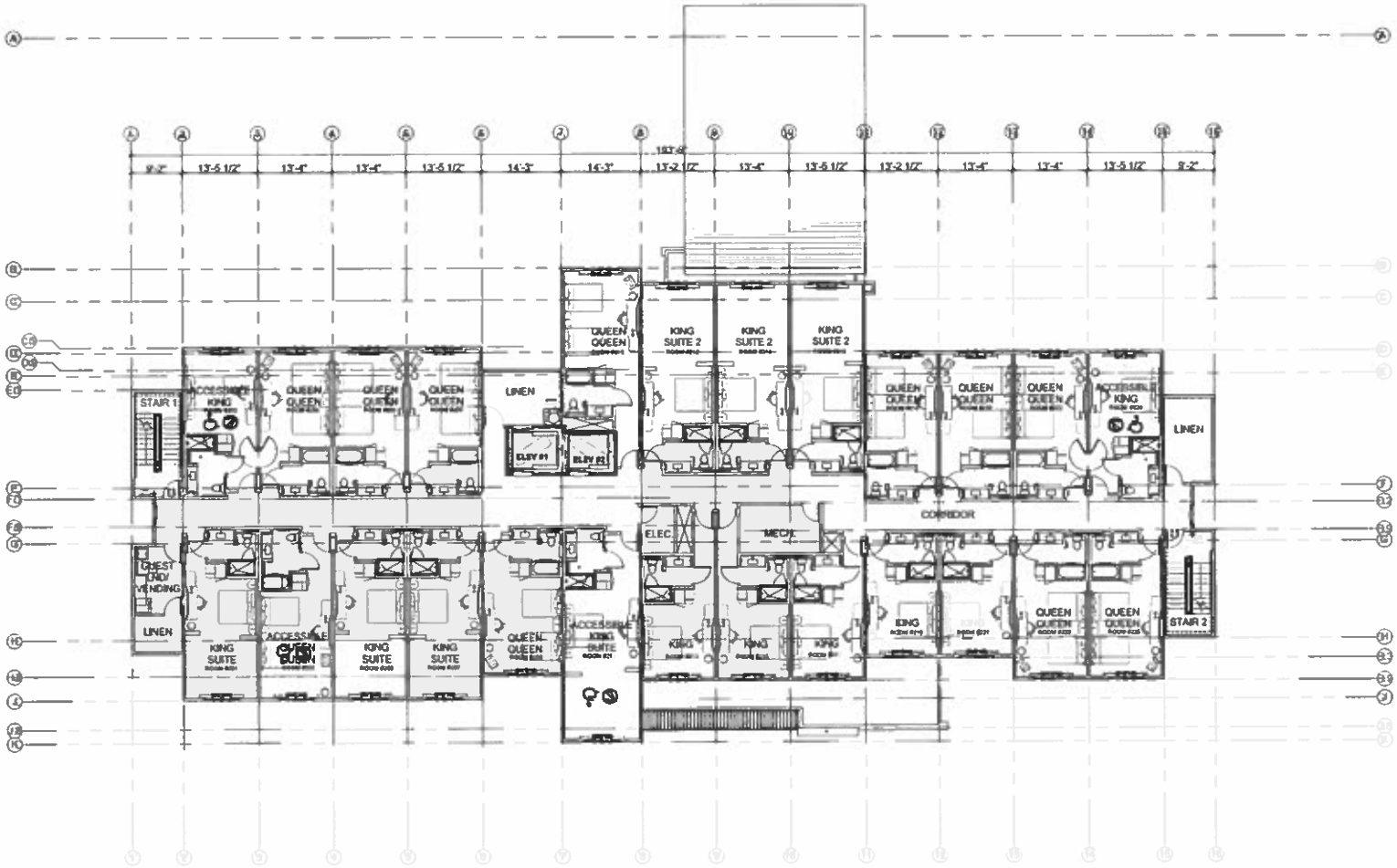
NO.	DATE	REVISION

LEVEL 1
COORDINATION
FLOOR PLAN

1/8" = 1'-0"

A-211

2.d



REFERENCE NOTES	GENERAL NOTES	KEYNOTES
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SYMBOLS LEGEND:

MARK	DESCRIPTION
U.O.N.	UNLESS NOTED OTHERWISE
2	WALL TYPE -REFER TO ——— SHT. A-000 / SET 3.10
W#	WINDOW -REFER TO WINDOW SCHEDULE ——— SHT. A-710
#	ATTRIBUTE
D#	DOOR -REFER TO DOOR SCHEDULE ——— SHT. A-710
5.03	ROOM NUMBER
E	EQUIPMENT TAG
WH	WATERMOOD ACCESSORY WARM NO. SEE TYPICAL & BATH ACCESSORY SETTING IN THE DESIGN GUIDE PROJECT MANUAL CHAPTER SECTION 10000.
P#	PIPING TAG REFER TO THE INTERIOR FINISH SHEET WITHIN THE DESIGN GUIDE PROJECT MANUAL CHAPTER
———	PLUMBING INFO SINCE NO. REFER TO THE INTERIOR DESIGN SPECIFICATION MANUAL
	LIGHT FIXTURE WARM NO. TYPICAL. SEE LIGHT FIXTURE SETTING IN DESIGN GUIDE PROJECT MANUAL CHAPTER & ELECTRICAL DRAWINGS.
D#	PLUMBING FIXTURE WARM NO. TYPICAL. SEE PLUMBING FIXTURE SETTING IN DESIGN GUIDE PROJECT MANUAL CHAPTER & PLUMBING DRAWINGS.
LAMP	ROOM TAG
F#	CEILING HEIGHT - ABOVE FIN. FLOOR
A	WINMOOT STANDARD DETAIL
	ACCESSIBLE ROOM or MOBILITY FEATURES
	INDICATES ROOM or COMMUNICATION FEATURES → REFER TO ELECTRICAL PLANS FOR POWER AND SIGNAL
U	SIGNATE DOOR HOLD OPEN TIED TO BUILDING ALARM SYSTEM → REFER TO DOOR SCHEDULE ELEC. & PLANS DRAWINGS

FIRE RATING LEGEND

[illegible] — ONE HR RATED ASSEMBLY

[illegible] — TWO HR RATED ASSEMBLY

ALL WALL TYPE DESIGNATIONS ASSEMBLIES FURTHER DEFINED ON PLANS

NOTE:

1. PENETRATIONS OF FIRE RESISTIVE WALLS, FLOORS, CEILINGS AND ROOF CEILINGS SHALL BE PROTECTED AS REQUIRED IN CBC SECTION 714.
2. PENETRATIONS OF AREA AND OCCUPANCY SEPARATION WALLS SHALL BE PROTECTED WITH THROUGH-PENETRATION FIRE STOPS AND MEMBRANE-PENETRATION FIRE STOPS IN ACCORDANCE WITH CBC SECTION 714.
3. PROJECT WILL INCLUDE THE USE OF NFPA 13 SPRINKLER SYSTEM WITHIN THE ATTIC SPACES OF THE ALL THE UNITS.

NORTH

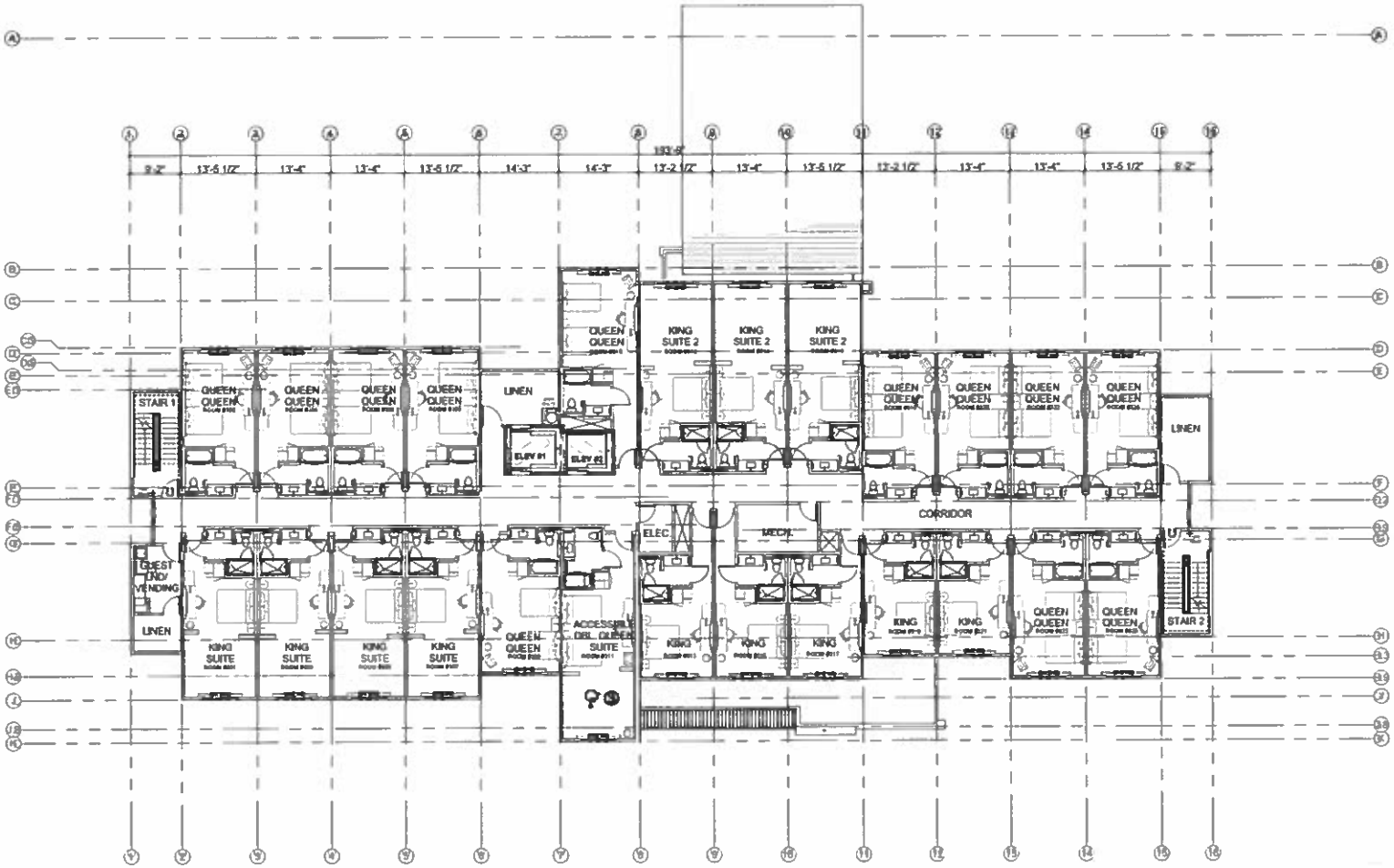
439 Spruce Ave.
Clovis, CA 93611
559.438.3303

FAIRFIELD INN
CLOVIS & AVE
HANFORD CA

LEVEL 2
COORDINATION
FLOOR PLAN

SCALE: 1/8" = 1'-0"

A-221



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SYMBOLS LEGEND:

MARK	DESCRIPTION
U.N.O.	UNLESS NOTED OTHERWISE
1	WALL TYPE -REFER TO_____ SHT. A-000 / SET. 11
W	WINDOW -REFER TO WINDOW SCHEDULE ..... SHT. A-110
D	DOOR
101	DOOR -REFER TO DOOR SCHEDULE ..... SHT. A-110
A3.3	PLAN NUMBER
1	EQUIPMENT TAG
WF	BATHROOM ACCESSORY MARK NO. SEE TOILET & BATH ACCESSORY METER IN THE DESIGN GUIDE PROJECT MANUAL, CHAPTER SECTION 10800.
101	FINISH TAG REFER TO THE INTERIOR FINISH INDEX WITHIN THE DESIGN GUIDE PROJECT MANUAL CHAPTER
1.000	PLUMBING FIXTURE NO. REFER TO THE INTERIOR DESIGN SPECIFICATION MANUAL
	LIGHT FIXTURE MARK NO. TYPICAL. SEE LIGHT FIXTURE METER IN DESIGN GUIDE PROJECT MANUAL CHAPTER & ELECTRICAL DRAWINGS.
	PLUMBING FIXTURE MARK NO. TYPICAL. SEE PLUMBING FIXTURE METER IN DESIGN GUIDE PROJECT MANUAL, CHAPTER & PLUMBING DRAWINGS.
LAUN	ROOM NAME
	CEILING HEIGHT - ABOVE FIN. FLOOR
	QUARRY STANDARD DETAIL
	ACCESSIBLE ROOM w/ MOBILITY FEATURES
	INDICATES ROOM w/ COMMUNICATION FEATURES. - REFER TO GUESTROOM ELECTRICAL PLANS FOR POWER AND SIGNAL
U	MAGNETIC DOOR HOLD OPEN TIED TO BUILDING ALARM SYSTEM - REFER TO DOOR SCHEDULE SHEET A-110

FIRE RATING LEGEND

- ONE-HR RATED ASSEMBLY
- TWO-HR RATED ASSEMBLY

ALL WALL TYPES/CONSTRUCTION ASSEMBLIES PER THIS SEPARATION PLANS

NOTE:

1. PENETRATIONS OF FIRE RESISTIVE WALLS, FLOORS, CEILINGS AND DOOR CEILINGS SHALL BE PROTECTED AS REQUIRED BY CBC SECTION 714.
2. PENETRATIONS OF AREA AND OCCUPANCY SEPARATION WALLS SHALL BE PROTECTED WITH THROUGH-PENETRATION FIRE STOPS AND MEMBRANE-PENETRATION FIRE STOPS IN ACCORDANCE WITH CBC SECTION 714.
3. PROJECT WILL INCLUDE THE USE OF NFPA 13 SPRINKLER SYSTEM WITHIN THE ATTIC SPACES OF THE ALL THE UNITS

NORTH

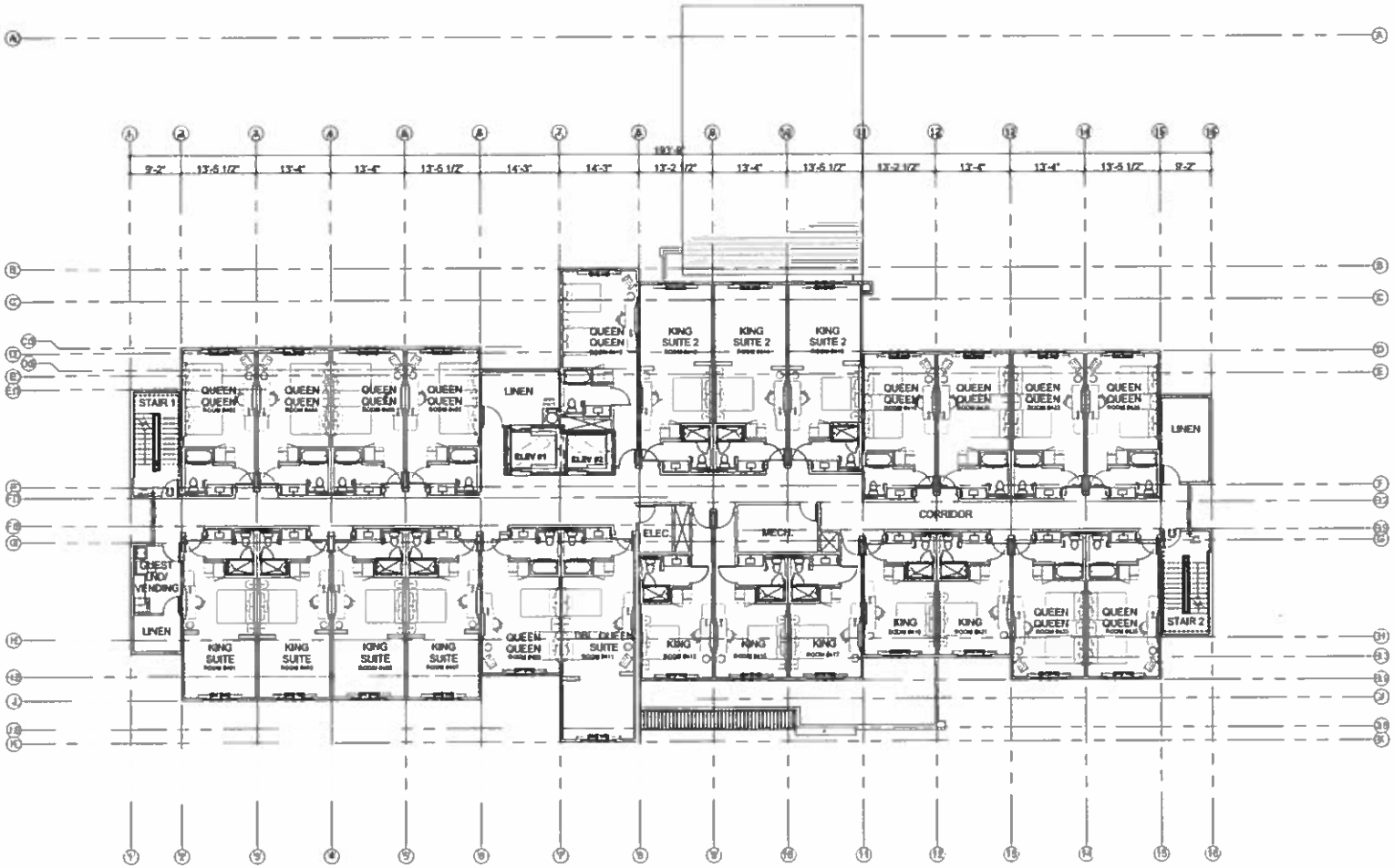
429 SPRUCE AVE.
CLOVIS, CA 93611
559.435.3303

FAIRFIELD INN
GLENDALE AVE
HANFORD, CA

LEVEL 3
COORDINATION
FLOOR PLAN

SCALE: 1/8" = 1'-0"

SHEET NO.
A-231



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SYMBOLS LEGEND:

MARK	DESCRIPTION
W.A.D.	WALLED WORKS DRAWING
1	WALL TYPE -REFER TO_____ SHT. A-501, 502, 11
WIN-01	WINDOW -REFER TO WINDOW SCHEDULE_____ SHT. A-510
5	KEYNOTE
101	DOOR -REFER TO DOOR SCHEDULE_____ SHT. A-511
3x4	DOOR NUMBER
EQ	EQUIPMENT TAG
FE	SURFACED ACCESSORY SHOWN INCL. WITH TOILET & BATH ACCESSORY SUITES IN THE DESIGN GUIDE PROJECT MANUAL CHAPTER SECTION 10800.
101	FINISH TAG REFER TO THE INTERIOR FINISH INDEX WITHIN THE DESIGN GUIDE PROJECT MANUAL CHAPTER.
1.00	PERFORMANCE REFERENCE NO. REFER TO THE INTERIOR DESIGN SPECIFICATION MANUAL.
FIX 01	LIGHT FIXTURE SHOWN INCL. TYPICAL. SEE LIGHT FIXTURE SUITES IN DESIGN GUIDE PROJECT MANUAL CHAPTER & ELECTRICAL DRAWINGS.
PLU 24	PLUMBING FIXTURE SHOWN INCL. TYPICAL. SEE PLUMBING FIXTURE SUITES IN DESIGN GUIDE PROJECT MANUAL CHAPTER & PLUMBING DRAWINGS
1.00	ROOM NAME
8'-0"	CEILING HEIGHT - ABOVE FIN. FLOOR
A	SHARPCRT STANDARD DETAIL
	ACCESSIBLE ROOM or MOBILITY FEATURES
	INDICATES ROOM or COORDINATION FEATURES. - REFER TO GUESTROOM ELECTRICAL PLANS FOR POWER AND SIGNAL
U	UNDERCUT DOOR HOLD OPEN TIED TO BUILDING ALARM SYSTEM - REFER TO DOOR SCHEDULE SLDC. & PLANS DRAWINGS

FIRE RATING LEGEND

[illegible] DRAWN GATES ASSEMBLY

[illegible] TRIGGER GATES ASSEMBLY

ALL WALL TYPES/CONSTRUCTION ASSEMBLIES PLATTER DEFINED ON PLANS

NOTE:

1. PENETRATIONS OF FIRE RESISTIVE WALLS, FLOORS & CEILINGS AND DUCT CEILINGS SHALL BE PROTECTED AS REQUIRED IN CBC SECTION 714.
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NORTH

435 Spruce Ave.
Clovis, CA 93611
559.435.3303

FAIRFIELD INN
GLENDALE AVE
HANFORD CA

LEVEL 4
COORDINATION
FLOOR PLAN

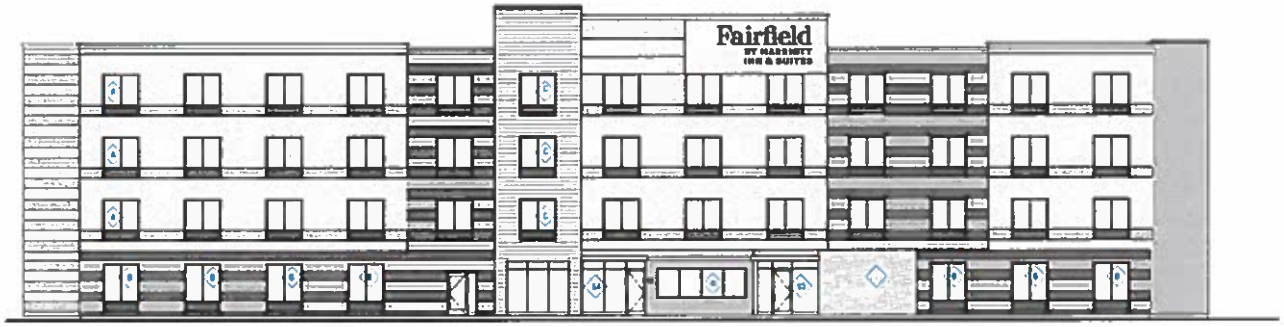
A-241

Packet Pg. 83

2.d

1 EAST ELEVATION

2 SOUTH ELEVATION



3 WEST ELEVATION

EXTERIOR FINISH KEY

EF1	EF S1
EF2	EF S2
EF2a	EF S2a
EF2b	EF S2b
EF3	EF S3
EF4	EF S4
EF4a	EF S4a
ST1	MANUFACTURED STONE MASONRY
ST2	CAST STONE MASONRY
SP1	SOLID PHENOLIC EXTERIOR WALL PANELS
PT1	PAINT

429 Spruce Ave.
Clovis, CA 93611
559.439.3303

FAIRFIELD INN
GLENDALE AVE
MANTECA, CA

EXTERIOR ELEVATIONS

A301

2.d

City of HANFORD

CALIFORNIA 93230
CITY OFFICES 317 NORTH DOUTY STREET

MAYOR
SUE SORENSEN
VICE-MAYOR
JOHN DRAXLER
COUNCIL MEMBERS
MARTIN DEVINE
FRANCISCO RAMIREZ
ART BRIENO
CITY MANAGER
DARREL L. PYLE
CITY ATTORNEY
ROBERT M. DOWD

DATE: February 21, 2019

PROJECT: Site Plan Review 2019-01 (502-1051)

APPLICANT: New Rooms Enterprises, LLC

LOCATION: East of Aquifer Drive, north of Glendale Avenue (APN 011-030-002)

PROPOSAL: Fairfield Inn – Four-Story, 82-room hotel

ZONING: C-S Service Commercial

SITE PLAN REVIEW COMMITTEE REVIEW DATE: January 23, 2019

Enclosed for your review are the comments and decisions of the Site Plan Review Committee. Please review all comments, since they may impact your project:

☐ **RESUBMIT:** Major changes to your plans are required prior to accepting construction drawings for a building permit. A meeting with the Site Plan Review Committee is not required.

☐ **MEETING REQUIRED:** During site plan review, concerns were identified, schedule a meeting with the following prior to resubmittal:

- ☐ Planning
- ☐ Fire
- ☐ Solid Waste
- ☐ Wastewater
- ☐ Building
- ☐ Engineering
- ☐ Police
- ☐ Parks and Recreation

☒ **REVISE AND PROCEED**

- ☒ Approved subject to the following and the attached conditions of approval.
- ☒ Submit plans for a building permit between the hours of 8:00 a.m. and 4:00 p.m.
- ☒ Your Plans must be reviewed by:

- ☐ City Council
- ☐ Parking and Traffic Commission
- ☐ Other: _____
- ☒ Planning Commission **CUP; PUD**
- ☐ Parks and Recreation Commission

Signed,

Gabrielle Myers

Gabrielle Myers, Associate Planner
Community Development Department

February 21, 2019
DATE

Attachment: Attachment 2 - Site Plan Review 2019-02 Approval Letter (PUD 2019-01, CUP 2019-01 Fairfield Inn)

EXPIRATION

A site plan approval shall expire one (1) year from its approval date, unless a building permit application has been submitted or the use has commenced. Prior to expiration, the Community Development Director may extend the permit expiration date by one (1) year if there is substantial evidence that the applicant is diligently pursuing building permit approval or commencement of the use (Hanford Municipal Code Section 17.72.070).

CALIFORNIA ENVIRONMENTAL QUALITY ACT

Site Plan Review is a ministerial action, therefore not subject to the California Environmental Quality Act (CEQA) (CEQA Guidelines 15268 and MC 17.70.070). **Exemption No. 2019-06**

COMMENTS AND CONDITIONS OF APPROVAL

THE FOLLOWING DEPARTMENT COMMENTS AND CONDITIONS ARE ATTACHED:

- ☒ PLANNING
- ☒ BUILDING
- ☒ ENGINEERING
- ☒ SOLID WASTE
- ☐ WASTEWATER
- ☐ POLICE
- ☒ FIRE
- ☐ PARKS AND RECREATION

DEFENSE AND INDEMNIFICATION PROVISION

That the applicant shall defend, indemnify, and hold harmless the City of Hanford ("City"), its officials, officers, employees, representatives, agents and attorneys, from and against all claims, damages, losses, judgments, liabilities, expenses and other costs, including litigation costs and attorney's fees, arising out of, resulting from, or in connection with, the City's act or acts leading up to and including approval of any environmental document and/or granting of any approvals relating to the Project. Applicant's obligation to defend, indemnify and hold the City harmless specifically includes, but is not limited to, any suit or challenge by any third party against the City which challenges or seeks to set aside, void or annul the legality or adequacy of any environmental document approved by the City or any approval related to the Project

APPLICANT'S STATEMENT (Must be signed prior to issuance of a building permit)

I have reviewed a copy of the Site Plan Review Approval No. 2019-02 and I understand that the proposed construction and/or land use is dependent upon the fulfillment of the conditions of approval and construction of all required public improvements prior to use, inauguration or occupancy, unless other arrangements are approved.

Applicant or Authorized Representative

_____

PLANNING DIVISION
SITE PLAN REVIEW COMMENTS

MEETING DATE: January 23, 2019
SITE PLAN NUMBER: 2019-02
CONTACT: Gabrielle Myers, Associate Planner: (559) 585-2578

General Plan Designation: Service Commercial

Zoning: C-S

Other Special Districts: N/A

Planning Division Recommendation ☒ Revise and Proceed ☐ Resubmit

The project does meet the requirements of the Hanford Municipal Code, development standards and other codes and policies.

Required Entitlements:

- Conditional Use Permit, the use of a hotel requires a conditional use permit in the C-S Service Commercial zone district.
- Planned Unit Development, due to the cross-access and shared driveway proposed for the site, a planned unit development is required.
- Lot Line Adjustment, a lot line adjustment is required in order to adjust the lot lines and merge, as proposed.
- Reciprocal Use Agreement – a Reciprocal Use Agreement must be recorded with the Kings County Recorder's Office for shared use of the driveway.

General Requirements:

1. That approval of this project does not exempt compliance with all applicable sections of the Zoning Ordinance, Public Works Improvement Standards, fees, or other City Ordinances.
2. That all approved proposals of the applicant be conditions of development, if not mentioned herein.
3. That the site be developed according to the approved site plan, titled Site Plan Review No. 2019-02 with minor modifications to be approved by the Community Development Department.
4. That no expansion of the use which would tend to increase the projected scale of operations beyond the scope and nature described in this Site Plan Review shall be permitted except upon application for, and approval of, modification of this application according to all procedures and requirements thereof.

5. That if cultural resources are discovered during construction or related activities, all work shall be halted and a qualified archeologist and the City of Hanford shall be notified. The find shall be properly investigated and appropriate measures are to be taken before construction may continue.

C-S Zone Requirements (all checked shall apply)

Cultural Resources:

☒ That if cultural resources are discovered during construction or related activities, all work shall be halted and a qualified archeologist and the City of Hanford shall be notified. The find shall be properly investigated and appropriate measures are to be taken before construction may continue.

Building Setback Areas (17.20.060)

☒ That the appropriate setbacks be maintained, as follows:

- ☒ The front building setback area shall be 15 feet, measured from the front lot line.
- ☒ The rear building setback may be zero, measured from the rear lot line.
- ☒ The side building setbacks may be zero, measured from the side lot lines.
- ☐ The street side building setback shall be 15 feet, measured from the street-side lot line.

Off Street Parking: (Section 17.54).

☒ That the applicant shall a minimum of 87 parking stalls on site, four of which are ADA-accessible, based on the ratio one stall per guest room, plus one stall per employee.

Calculation:

82 bedrooms + 5 full-time employees = 87 parking stalls minimum

☒ That the standard parking space shall not be less than 18.5 feet in length and nine feet in width, exclusive of aisles and access drives (Section 17.54.110 A).

☒ That the maximum number of compact-car parking spaces is limited to 30 percent of the total parking spaces required. A compact parking space shall not be less than 16 feet in length and 8 feet in width, and marked for compact cars (Section 17.54.110 B. and C).

- ☒ There shall be no more than four compact spaces adjacent to each other.

☒ That parking for bicycles and low-emission vehicles shall be provided in accordance with the latest adopted version of the California Building Code (Section 17.54.190).

☒ In the commercial zone district, not less than five percent of the interior square footage of a parking area shall be landscaped with trees and other plant materials suitable for

ornamentation. **Parking areas are to have one tree placed at every four lineal parking stalls.**

Signage: (Section 17.56).

☒ That any/all signs proposed for this development shall be subject to the requirements and prescribed in Chapter 17.56 of the Hanford Municipal Code. **A separate application is required.**

Fencing and Walls: (Section 17.20.130)

☒ That no fence or wall shall be placed in front of or within any landscaped area located next to a street.

☒ That the open storage of materials and equipment attendant to a use shall be permitted only within an area surrounded or screened by a solid wall or fence seven feet minimum in height.

☒ That any proposed fencing on the site be maintained in good repair.

☒ That no fence or wall shall be placed within the public right-of-way.

☒ That a masonry fence exceeding three (3) feet in height shall require engineered footings and a building permit. All other fencing exceeding seven (7) feet in height shall require engineered post footings and a building permit.

☒ That no hedge, shrub, fence, or wall exceeding the three (3) feet in height, or four (4) feet in height if the upper one (1) foot is fifty (50) percent or more open shall be planted, placed, or maintained within the twenty-five (25) feet corner sight triangle of a corner lot, or along a front or street side property line where the hedge, shrub, fence, or wall creates a traffic or pedestrian hazard as determined by the Community Development Director.

Landscaping: (Section 17.20.120 and 17.52).

☒ **Landscaping shall be provided and permanently maintained in a setback area not less than 15 feet from a lot line adjoining a street.**

☒ General Design Standards: the following features shall be incorporated into the design of the proposed landscape and shown on the required landscape plans:

- ☒ Publicly maintained landscape areas shall be separated from privately maintained landscape areas with, at a minimum, a four (4) inch wide concrete mow strip.
- ☒ Pedestrian access to sidewalks and structures shall be integrated with the design of landscaped areas.
- ☒ Landscape adjacent to driveways and parking areas shall be protected from vehicle damage through the provision of a minimum six (6) inch high and six (6) inch wide concrete curb.
- ☒ Concrete mow strips, when used, shall be a minimum of four (4) inches in width.

Attachment: Attachment 2 - Site Plan Review 2019-02 Approval Letter (PUD 2019-01, CUP 2019-01 Fairfield Inn)

- ☒ Trees and shrubs shall be planted so that at maturity they do not interfere with utility lines and traffic safety sight areas.
- ☒ Trees and shrubs shall be planted and maintained in a manner that protects the basic rights of adjacent property owners, particularly the right to solar access.
- ☒ Trees planted within five (5) feet of sidewalks or curbs shall have an eighteen (18) inch by ten (10) foot long linear root barrier placed at each edge of the sidewalk or face of curb, centered on the tree.

☒ Plant materials. Plant materials shall be selected and installed in accordance with the following requirements:

- ☒ The size of ten (10) percent of the trees to be planted shall be twenty-four (24) inch box or larger. The remaining trees shall be sized fifteen (15) gallons or larger.
- ☒ The size of seventy (70) percent of plants and shrubs shall be at five (5) gallon or larger. The remaining plants and shrubs shall be sized one (1) gallon or larger.
- ☒ The size of groundcover at planting shall be one (1) gallon or larger.
- ☒ Groundcover shall be designed to have one hundred (100) percent coverage within two (2) years.
- ☒ Drought tolerant plant material and climate appropriate species shall be emphasized in the design.

☒ That the landscaped area shall be planted with live and healthy plant materials suitable for screening/or ornamenting the site. Landscaped areas shall be watered by automatic systems and designed and developed in accordance with Chapter 12.08 and the most recent State Model Water Efficient Landscaped Ordinance.

☒ That no fence, hedge, or shrub shall be installed, planted, or maintained along a street frontage, which creates a traffic or pedestrian hazard.

Outdoor Lighting Standards (Section 17.50.140)

☒ That all lights and light fixtures, except public street lights, shall be located, aimed or shielded so as to minimize light trespassing across property boundaries or skyward.

☒ That building mounted lighting fixtures shall be attached only to the walls of the building. The top of a light fixture attached to a building wall shall not be higher than the top of the building parapet or the top of the roof eave, whichever is lower.

☒ That the canopy ceiling light fixtures shall be recessed or the sides of the lens area shall be shielded, in order to eliminate emission of horizontal light.

☒ That the height of freestanding light fixtures, including freestanding parking lot fixtures, shall be measured from the top of a light fixture to the adjacent grade at the base of the support for that light fixture and shall not exceed 50 feet.

Attachment: Attachment 2 - Site Plan Review 2019-02 Approval Letter (PUD 2019-01, CUP 2019-01 Fairfield Inn)

Dust Control:

☒ That the appropriate dust-control practices of the San Joaquin Valley Air Pollution Control District shall be implemented.

☒ That the any necessary permits be obtained through the San Joaquin Valley Air Pollution Control District.

BUILDING DIVISION
SPR 2019-002 (502-1051) 4 Story Hotel
1-18-19

Contact Building Official: Tom Webb (559) 585-2584
Concerning questions that you may have on the conditions listed below:

1. That building permits must be obtained from the City Building Division for any structural, plumbing, electrical or mechanical work being done.

2. That no building or structure shall be used or occupied, and no change in the existing occupancy classification of building or structure or portion thereof shall be made until the building official has approved the change and issued a Certificate of Occupancy.

3. That detailed dimensioned plans be provided to the Building Division prior to obtaining construction permits.

4. That the buildings will require plans and calculations signed by an architect or engineer licensed to practice in the State of California. Submittal shall consist of:

   4.1 1 copy of the City of Hanford Permit Application form
   4.2 6 complete sets of Drawings, unless noted, including:
      4.2.1 Grading Plan (Civil Drawings)
      4.2.2 Site Plan
      4.2.3 Landscaping Plan
      4.2.4 Architectural Drawings
      4.2.5 Structural Drawings
      4.2.6 Electrical Drawings
      4.2.7 Mechanical Drawings
      4.2.8 Plumbing Drawings
      4.2.9 Commissioning Plan per 2016 CEnC section 120.8
      4.2.10 Planning Dept. "Conditions of Approval" or "Resolution" printed on the drawings and part of the drawing submittal
      4.2.11 A minimum of 2 sets shall be stamped and wet signed by an Architect or Engineer licensed in the State of California.
   4.3 2 complete sets of documentation, unless noted, including:
      4.3.1 Architectural Specifications
      4.3.2 Structural Calculations
      4.3.3 Electrical Calculations, if not included on the drawings
      4.3.4 Mechanical Calculations, if not included on the drawings
      4.3.5 Plumbing Calculations, if not included on the drawings
      4.3.6 Energy Calculations, if not included on the drawings
      4.3.7 CalGreen Compliance, if not included on plans
      4.3.8 Commissioning Plan, if not included on drawings
      4.3.9 A minimum of 2 sets shall be stamped and wet signed by an Architect or Engineer licensed in the State of California.
      4.3.10 **Landscape Calculations per Hanford City Ord.**

5. That the site, as well as the buildings, shall be made accessible and usable by the disabled in accordance with the California Building Code, Chapter 11B.

6. That a preliminary soils report, prepared by a qualified soils engineer, be provided to the Engineering and Building Divisions prior to approval of site improvement plans. The soils report shall comply with the 2016 California Building Code, Chapter 18.

7. That a final soils report, prepared by a qualified soils engineer, be provided to the Engineering and Building Divisions before issuance of building permits.

8. That a school impact fee of $0.61(or revision thereof) for each square foot of new building area be paid when building permits are issued. (Any waiver of fees must be obtained from the school district)

9. That Kings County Impact fees apply.

10. That all special inspection reports be submitted to the Building Division when obtained during construction and prior to final inspection.

11. That all construction shall conform to the 2016 Edition, California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Fire Code, California Energy Code and CalGreen. **Also, with the City of Hanford, Water Efficient Landscape Design and Installation Ordinance, Chapter 12.08.**

12. That the owner is responsible for compliance with the Americans with Disabilities Act. By federal law your facility must be made accessible to the highest degree possible.

13. That the applicant provide a complete set of AS-BUILT drawings on CD, in "tif" format, to the Building Division prior to Final Inspection.

14. That the Building Division conducts and approves a Zoning Health & Safety inspection prior to the occupancy of the building.

15. That the address for the building will be 2040 Glendale Avenue.

Hanford Fire Department

Contact Fire Chief Chris Ekk @ 559-585-2545 or cekk@cityofhanfordca.com
concerning questions that you may have on the following conditions.

Site Plan Review

Date: **January 23, 2019**

Project #: **SPR 2019-02 (502-1051) CUP 2019-01 PUD 2019-01 (509-0097) Fairfield Inn Glendale Ave.**

General Instructions

1. **Approval of this project does not exempt compliance with all applicable sections of the City adopted fire codes and local fire ordinances.**
2. All fire protection systems must be installed and operational prior to occupying the building.
3. All permits shall be issued and fees paid prior to scheduling inspections with the Fire Department. To schedule appointments for inspections, please email at grocha@cityofhanfordca.com and dbodiroga@cityofhanfordca.com
4. Scope of work shall be clearly stated on all plans submitted for permit.
5. All Deferred Submittals shall be listed on the building plan Title Page. All deferred submittals are required to be submitted within 30-days of building permit issuance.

The following comments are applicable if checked:

1. ☐ No comments.
2. ☒ This project must comply with latest applicable codes.
3. ☒ Project must meet minimum fire flow requirements per the table in Appendix B & C of the 2016 California Fire Code.
4. ☒ If a new fire hydrant flow test is required, contact the fire department for submittal requirements.
5. ☒ Based on the occupancy classification, an automatic sprinkler system is required for this project. ***A separate fire department permit is required.*** Contact the fire department for submittal process.
   - ☐ NFPA 13 System per CFC 903.3.1.1
   - ☒ NFPA 13R System per CFC 903.3.1.2 (Group R occupancies)
   - ☐ NFPA 13D System per CFC 903.3.1.3 (one and two-family dwellings, Group R-3, and townhouses)
6. ☒ For automatic sprinkler systems, ***a separate permit must be submitted*** for the underground system supplying the sprinkler system. Contact the fire department for submittal information.

Attachment: Attachment 2 - Site Plan Review 2019-02 Approval Letter (PUD 2019-01, CUP 2019-01 Fairfield Inn)

7. ☒ Fire Riser Room: All new buildings that require an automatic fire sprinkler system shall contain a separate room to house the fire riser and FDC inside of it and shall have the following building elements:
   - At least one man door shall be provided - only exterior door(s) are allowed,
   - The fire riser room and the door shall be large enough to accommodate repairs and/or maintenance needed by the use of tools and the removal and/or replacement of parts/pipe to the fire riser or FDC; suggested size 4' x 4' room.
   - One-hour rated construction,
   - Fire sprinkler head coverage required,
   - Normal and emergency back-up lighting shall be installed inside the fire riser room,
   - The exterior of the fire riser door shall have permanent signage stating FIRE RISER ROOM in a contrasting color to background,
   - For existing buildings: please contact the fire department for requirements.

8. ☒ When a sprinkler system is required with 21 or more sprinkler heads, the system shall be monitored by a Central Station Service. Fire alarm and detection systems required by Chapter 9 of the currently adopted edition of the California Building Code (CBC) and CFC shall be installed per NFPA 72. ***A separate fire department permit is required*** for fire sprinkler monitoring and/or fire alarm systems required by the latest edition of the CBC. Contact the fire department for submittal process.

9. ☒ A hydrant will be required within 50 feet of the fire department connection. **Knox FDC Plugs, Model #3401**, are required on all FDC's. The ordering of Knox Box products can be done directly at www.knoxbox.com or an order form can be obtained from the fire department. Install one hydrant within 50' west of the FDC location. Coordinate with fire department on underground permit.

10. ☒ When any portion of the facility or building to be protected is more than 400 feet from a hydrant on a fire apparatus access road as measured by an approved route around the exterior of the building, on-site fire hydrants and mains shall be provided where required by the fire code official.

11. ☒ Depending on the location of the existing fire hydrant(s), additional fire hydrants may be required. All hydrants must be in place and accepted by the fire department prior to any combustibles being brought onto the site.

12. ☐ No additional hydrants are necessary for this project.

13. ☒ Number of additional hydrants necessary for this project: 3 Coordinate with fire department on underground permit.

    1. Install one hydrant west of FDC within 50'.
    2. Install one hydrant in parking lot in southeast corner.
    3. Hydrant in northeast corner of parking lot on site plan (acceptable)

Attachment: Attachment 2 - Site Plan Review 2019-02 Approval Letter (PUD 2019-01, CUP 2019-01 Fairfield Inn)

Existing hydrant on Glendale east of eastern entrance acceptable.

14. ☒ Fire hydrant spacing shall be as follows:

a. **Residential development**: one hydrant shall be installed at 500 foot intervals.
b. **Commercial development**: one hydrant shall be installed at 300 foot intervals.
c. Or as required by Appendix C of the California Fire Code

15. ☒ Fire hydrant protection posts shall be installed at all fire hydrants that are subject to vehicle damage.

16. ☒ Approved fire apparatus access roads shall be provided for every facility, building, or portion of a building constructed or moved onto or with the City of Hanford. It shall extend to within 150 feet of all portions of the facility and all portions on the exterior walls of the first story of the buildings as measured by an approved route around the exterior of the building or facility.

17. ☐ All dead-end access roads in excess of 150 feet must be provided with an approved turn-around or hammer head complying with City standards.

18. ☐ Existing access roads are sufficient.

19. ☒ All access road shall not be less than 20 feet wide and 13 feet 6 inches in height.

East and west entrances at 20 feet wide are acceptable.

Roof over entrance on east side must be at least 13 feet 6 inches in height.

Access road with a hydrant, the minimum road width shall be 26 feet exclusive of shoulders. Aerial fire apparatus access roads (CFC D105.1): Where the vertical distance between the grade and the highest roof surface exceeds 30 feet, approved aerial fire apparatus access roads shall be provided. CFC D105.2: Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders, in the immediate vicinity of the building or portion thereof.

Access roads near the building are acceptable at 26 feet wide.

20. ☒ Access road turning radius for fire apparatus is as follows (show all three on plans):

a. 20 feet 1 inch inside turning radius (inside rear wheel)
b. 36 feet 3 inch curb to curb (outside front wheel)
c. 44 feet 6 inch outside radius (outside front bumper)

Show that turning radius requirements are met throughout the parking lot.

21. ☐ Additional access roads may be required per CFC 2016 Section 503.1.2. The fire

Attachment: Attachment 2 - Site Plan Review 2019-02 Approval Letter (PUD 2019-01, CUP 2019-01 Fairfield Inn)

code official is authorized to require more than one fire apparatus access road based on the potential for impairment of a single road by vehicle congestion, condition of terrain, climatic conditions or other factors that could limit access.

22. ☒ Traffic calming devices shall not be installed onto fire department emergency access roads unless prior approval is obtained from the Hanford Fire Department.

23. ☒ Areas identified as "Fire Lanes" must be identified as such per requirements set forth in the California Vehicle Code Section 22500.1.
   a. Access roads 20-26 feet in width. Fire lanes shall be on both sides of the fire apparatus access roads.
   b. Access roads 26 to less than 32 feet in width: Fire lanes shall be on one side of the fire apparatus access roads.
   c. Access roads 32 feet in width or more: No fire lanes required.
   Coordinate and confirm with the fire department later in the process.
   No parking east of the covered parking at the entrance.

24. ☒ Temporary or permanent fire department access roads shall be constructed in accordance with City Standards ST-36. All weather access roads shall be in place prior to any combustible construction being brought onto the premises unless approved by the fire department.

25. ☐ Locked gates installed across fire department access roads:
   a. **Manual gates** with a chain lock require a **Knox Padlock, Model #3770**, to be installed on them; or a **Knox Box, Model 3200 Series**, shall be installed on the exterior of the gate and a key to the lock on the gate must be placed in the Knox Box.
   b. **Electric gates** shall be equipped with an electric **Knox Key Switch, Model 3502**, at the gate location.
   c. In case of a loss of power, electrically operated gates shall have a means of back-up power or shall default in the open position for immediate fire department access.
   d. At no time shall the width of the fire department access road be reduced below **20-feet wide through or at any gates** along the fire departments' emergency access roads due to protruding objects from gate supports, frames, signs, access booths, curbs, etc.

26. ☒ A Knox Box will be required. Keys that open all locked areas will also be required and placed in the Knox Box. The ordering of Knox Box products can be done directly at www.knoxbox.com or an order form can be obtained from the fire department.

27. ☒ All address numbers shall be installed onto the building and shall be visible from the frontage street. The color of the address numbers shall be in a contrasting color to the building.

Size of Address Numbers:

Attachment: Attachment 2 - Site Plan Review 2019-02 Approval Letter (PUD 2019-01, CUP 2019-01 Fairfield Inn)

- Downtown area (existing buildings): 4-inch numbers,
- Buildings 20-ft. or less from the street: 6-inch numbers,
- Buildings 21- to 40-ft. from the street: 8 inch numbers,
- Buildings more than 40-ft. from street: 12 inch numbers.

28. ☐ Commercial cooking equipment that produce grease laden vapors shall be provided with a Type I hood. ***A separate permit is required for the Type I hood.*** Contact the fire department for submittal information.

29. ☐ All commercial cooking appliances creating grease laden vapors shall have a K-Class fire extinguisher within 30-feet of cooking appliances in accordance with the most currently adopted edition of the CFC.

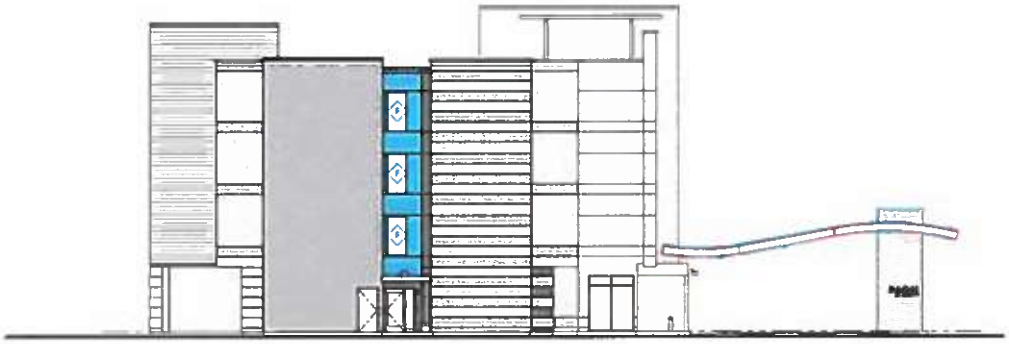
30. ☐ ***A separate permit is required*** for all hazardous material and/or flammable and combustible liquids, gases, solids, etc., over the exempt amounts set forth in the latest adopted edition of the California Fire Code.

31. ☐ ***A fuel tank permit is required*** for underground and aboveground gasoline/LPG/Diesel.

32. ☐ Combustible high-piled storage over 12 feet ***requires a separate fire department review and permit.*** Contact the fire department for further information.

Attachment: Attachment 2 - Site Plan Review 2019-02 Approval Letter (PUD 2019-01, CUP 2019-01 Fairfield Inn)

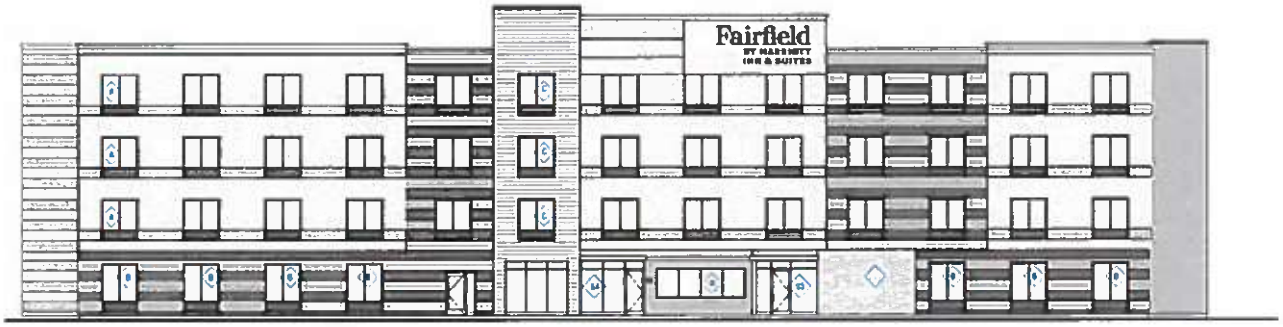
1 EAST ELEVATION



2 SOUTH ELEVATION

EXTERIOR FINISH KEY

EF1	EIF S1
EF2	EIF S2
EF2a	EIF S2a
EF2b	EIF S2b
EF3	EIF S3
EF4	EIF S4
EF4a	EIF S4a
ST1	MANUFACTURED STONE MASONRY
ST2	CAST STONE MASONRY
SP1	SOLID PHENOLIC EXTERIOR WALL PANELS
PT1	PAINT



3 WEST ELEVATION

429 Spruce Ave.
Clovis, CA 93611
559.439.3303

FAIRFIELD INN
GLENDALE AVE
HANFORD, CA

EXTERIOR ELEVATIONS

A301

Attachment: Attachment 3 - Elevations (PUD 2019-01, CUP 2019-01 Fairfield Inn)

Notice of Exemption **Appendix E**

To: Office of Planning and Research
P.O. Box 3044, Room 212
Sacramento, CA 95812-3044

From: City of Hanford (Planning Division)
317 North Douty Street
Hanford, CA 93230

County Clerk
County of Kings
Kings County Government Center
Hanford, CA 93230

Project Title: Planned Unit Development No. 2019-01; Conditional Use Permit No. 2019-01

Project Location – The property is located east of Aquifer Drive, north of Glendale Avenue (APN 011-030-002, -003, and -004).

Project Location – City: Hanford Project Location – County: Kings County

Description of Nature, Purpose and Beneficiaries of Project: Planned Unit Development No. 2019-01, a request by New Rooms Enterprise to allow cross-access between sites, a shared driveway, and reduced lot frontage for the parcels located at APN 011-030-002, 011-030-003, and 011-030-004 in the C-S Service Commercial zone district. **Conditional Use Permit No. 2019-01,** a request by New Rooms Enterprise to allow a four-story, 82-room hotel in the C-S Service Commercial zone district.

Name of Public Agency Approving Project: City of Hanford

Name of Person or Agency Carrying Out Project: New Rooms Enterprises, LLC

Exempt Status: **(check one)**

- ☐ Ministerial (Sec. 21080(b)(1); 152698);
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269 (a));
- ☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
- ☒ Categorical Exemption: State type and section number: Infill Development, Section 15332.
- ☐ Statutory Exemption. State code number:

Reasons why project is exempt:

(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations
(b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.
(c) The project site has no value as habitat for endangered, rare or threatened species.
(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
(e) The site can be adequately served by all required utilities and public services.

Lead Agency

Contact Person: Gabrielle Myers **Area Code/ Telephone**: (559) 585-2578

Signature: **Date:** February 26, 2019 **Title:** Associate Planner

☒ Signed by Lead Agency Date received for filing at OPR:

☐ Signed by Applicant

Attachment: Attachment 4 - Notice of Exemption (PUD 2019-01, CUP 2019-01 Fairfield Inn)