



AGENDA

PLANNING COMMISSION

of the

CITY OF HANFORD

COUNCIL CHAMBERS
400 N. Douty St.
7:00 PM, Tuesday, September 11, 2018

CALL TO ORDER

ROLL CALL

INVOCATION

FLAG SALUTE

PUBLIC COMMENT

*This is the time for citizens to comment on subject matters not on the agenda and that are within the jurisdiction of the Commission. This is also the public's opportunity to request an item from the Consent Calendar be pulled for discussion purposes or to comment on any item on the agenda. Comments related to Public Hearing items will be heard at the time the item is discussed. A maximum of **three minutes** is allowed for each speaker. Please begin your comments by stating your name and providing your city of residence.*

CONSENT CALENDAR

Consent Calendar items are considered routine and will be enacted in one motion. There will be no separate discussion of these matters unless a request is made and then the item will be removed from the Consent Calendar to be discussed and voted upon by a separate motion.

1. Approval of the August 14, 2018 Minutes

PUBLIC HEARING

2. **Conditional Use Permit No. 2018-11, a request to relocate an existing veterinary office to a new building within the same vicinity in the C-R Regional Commercial zone district. The project is located along West Lacey Boulevard, east of Centennial Drive (APN 011-020-008, 011-020-009, and 011-020-010).**
3. **Conditional Use Permit No. 2018-10: is a request to allow a religious institution and associated charter school within an existing building in the O Office zone district. The project is located at 1010 W. Grangeville Boulevard (APN 008-410-055).**

DIRECTOR'S COMMENTS

COMMISSIONERS' ITEMS OF INTEREST

ADJOURNMENT

Materials related to an item on this Agenda submitted to the Planning Commission after distribution of the agenda packet are available to public inspection in the Planning Division Office located at 317 N. Douty Street, Hanford, California 93230, during normal business hours. Such documents are also available at the city's website, www.cityofhanfordca.com subject to staff's ability to post documents before the meeting.

If you need a disability-related modification or accommodation, including auxiliary aids or services, to participate in this meeting, please contact the Planning Division's office, 559-585-2580, 317 N. Douty Street, Hanford, California 93230, at least 2 days prior to the meeting {28 CFR 35.102.35.104 ADA Title II}

APPEALS:

Any action of the Planning Commission, which is a final project decision, may be appealed to the City Council by the applicant or any adversely affected person. To file an appeal, an appeal application and filing fee of \$1,000.00 must be submitted to the Community Development Department, 317 N. Douty Street, Hanford, California, within ten (10) days following the date of the final decision of the Planning Commission.



**AGENDA
STAFF REPORT**

MEETING DATE: 9/11/2018	AGENDA SECTION: 1
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SUBJECT:

Approval of the August 14, 2018 Minutes

RECOMMENDATION:

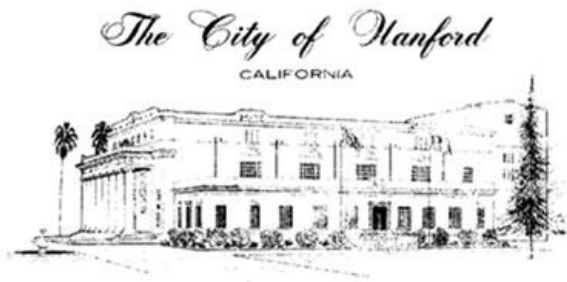
Approve the minutes of the August 14, 2018 meeting.

BACKGROUND:

FISCAL IMPACT:

ATTACHMENTS:

08-14-18 PC Minutes



MINUTES
PLANNING COMMISSION
of the
CITY OF HANFORD

COUNCIL CHAMBERS
400 N. Douty St.
7:00 PM, Tuesday, August 14, 2018

CALL TO ORDER

Chairperson PADEN called the meeting to order at 7:00 p.m.

ROLL CALL

Attendee Name	Title	Status	Arrived
Dennis Ham		Present	
Richard Douglas		Present	
Michael Johnston		Present	
Travis Paden		Present	
Savino Perico		Present	
Angel Vee Galvan		Present	
Jacob Sanchez		Present	

INVOCATION

Pastor Lee Reynolds of Evangel Assembly of God, Visalia, led the invocation.

FLAG SALUTE

Chairperson PADEN led the flag salute.

PUBLIC COMMENT

*This is the time for citizens to comment on subject matters not on the agenda and that are within the jurisdiction of the Commission. This is also the public's opportunity to request an item from the Consent Calendar be pulled for discussion purposes or to comment on any item on the agenda. Comments related to Public Hearing items will be heard at the time the item is discussed. A maximum of **three minutes** is allowed for each speaker. Please begin your comments by stating your name and providing your city of residence.*

Attachment: 08-14-18 PC Minutes (8-14-18 PC Minutes)

There were no comments.

CONSENT CALENDAR

Consent Calendar items are considered routine and will be enacted in one motion. There will be no separate discussion of these matters unless a request is made and then the item will be removed from the Consent Calendar to be discussed and voted upon by a separate motion.

Approval of the Minutes of the July 10, 2018 Meeting

Motion by Commissioner HAM, seconded by Commissioner SANCHEZ, to approve the minutes of the July 10, 2018 meeting. Motion carried by the following roll call vote:

AYES:	Commissioners HAM, SANCHEZ, GALVAN, JOHNSTON, DOUGLAS, PADEN
NOES:	Commissioners NONE
ABSTAIN:	Commissioners PERICO
ABSENT:	Commissioners NONE

PUBLIC HEARING

General Plan Amendment No. 2018-01: A request to change the designation on three parcels, totaling 2.76 acres, from High-Density Residential to Corridor Mixed Use. Rezone No. 2018-01: A request to change the zoning designation on three parcels, totaling 2.76 acres, from R-H High-Density Residential to MX-C Corridor Mixed Use. Mitigated Negative Declaration No. 2018-07: a request to certify that the project will not have a significant effect on the environment with the incorporation of mitigation measures. The project is located north of Elm Street, east of Greenfield Drive (APN 010-500-004, 010-500-024, and 010-500-024).

Chairperson PADEN opened the Public Hearing at 7:05 p.m. and called for the staff report. Associate Planner de Silva presented the staff report, recommended that the Commission recommend approval to the City Council, and invited questions of staff.

There being no questions of staff, Chairperson PADEN opened Public Comment.

FAVOR

Dr. Michael Gage, owner of the adjacent medical office building, expressed appreciation to the City and spoke in favor of the proposed change.

Dr. Wiley Elick, who rents office space from Dr. Gage, would prefer to see offices on the adjacent lot(s), rather than high-density residential. He stated that there was interest in that property for office use, until the zoning issue came up.

OPPOSED

None.

There was no Commission discussion.

Chairperson PADEN expressed appreciation to Drs. Gage and Elick for the medical and dental services they provide for children. He then closed the public hearing at 7:13 p.m. and called for motions.

Motion by Commissioner DOUGLAS, seconded by Commissioner JOHNSTON, to recommend approval to the City Council of Mitigated Negative Declaration No. 2018-07 for the project. Motion carried by the following roll call vote:

AYES: Commissioners DOUGLAS, JOHNSTON, HAM, GALVAN, PERICO, SANCHEZ,
PADEN
NOES: Commissioners NONE
ABSTAIN: Commissioners NONE
ABSENT: Commissioners NONE

Motion by Commissioner PERICO, seconded by Commissioner DOUGLAS, to adopt Resolution 2018-18, recommending approval of General Plan Amendment No. 2018-01 to the City Council. Motion carried by the following roll call vote:

AYES: Commissioners PERICO, DOUGLAS, HAM, GALVAN, JOHNSTON, SANCHEZ,
PADEN
NOES: Commissioners NONE
ABSTAIN: Commissioners NONE
ABSENT: Commissioners NONE

Motion by Commissioner SANCHEZ, seconded by Commissioner HAM, to adopt Resolution 2018-19, recommending approval of Rezone No. 2018-01 to the City Council. Motion carried by the following roll call vote:

AYES: Commissioners SANCHEZ, HAM, GALVAN, JOHNSTON, DOUGLAS, PERICO,
PADEN
NOES: Commissioners NONE
ABSTAIN: Commissioners NONE
ABSENT: Commissioners NONE

DIRECTOR'S COMMENTS

In response to Commissioner Johnston's question from a previous meeting, Community Development Director Mata reported that the striping and signage at 12th and Lacey are correct.

COMMISSIONERS' ITEMS OF INTEREST

Commissioner JOHNSTON thanked the City for doing a good job filling in the sewer covers on Fargo, which had presented a problem. He commented on the excellent attendance record of the planning commissioners.

Commissioner DOUGLAS asked what was going in next to Wendy's. Staff replied that it was Planet Fitness.

Chairperson PADEN agreed with Commissioner JOHNSTON regarding the dedication of the planning commissioners. He expressed appreciation for the attractive appearance of the new London Properties location, following the remodel and landscaping. He was also pleased with Board & Brush, which recently opened downtown, and he inquired about in-house training for the Commissioners.

Chairperson PADEN asked about the possibility of a Planning Commission study session and review of the Brown Act. Director Mata explained that there are no study sessions for the Planning Commission and that any discussion of the Brown Act, or any topic, would have to be on an agenda as part of a meeting. City Attorney Mizote gave further comment.

Commissioners asked when they are next due for ethics training. The Commission clerk will contact them with that information.

Adjournment

Chairperson PADEN adjourned the meeting at 7:39 p.m.

Respectfully submitted,

Diana Black
Recording Secretary



AGENDA STAFF REPORT

MEETING DATE: 9/11/2018	AGENDA SECTION: 2
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SUBJECT:

Conditional Use Permit No. 2018-11, a request to relocate an existing veterinary office to a new building within the same vicinity in the C-R Regional Commercial zone district. The project is located along West Lacey Boulevard, east of Centennial Drive (APN 011-020-008, 011-020-009, and 011-020-010).

Please see the attached staff report.

FISCAL IMPACT:

ATTACHMENTS:

Staff Report - Veterinary Office
 Resolution No. 2018-21 (CUP 2018-11)
 Attachment 1 - Site Plan Review No. 2018-09
 Attachment 2 - Conditions of Approval SPR 2018-09
 Attachment 3 - Notice of Exemption

**CITY OF HANFORD PLANNING COMMISSION
STAFF REPORT
Tuesday, September 11, 2018**

PROJECT: Conditional Use Permit No. 2018-11, a request to relocate an existing veterinary office to a new building within the same vicinity in the C-R Regional Commercial zone district.

LOCATION: The project is located along West Lacey Boulevard, east of Centennial Drive (APN 011-020-008, 011-020-009, and 011-020-010).

PLANNER: Gabrielle Myers, Associate Planner

STAFF RECOMMENDATION

Staff recommends that the Planning Commission:

1. Adopt Resolution No. 2018-21, approving Conditional Use Permit No. 2018-11.

RECOMMENDED MOTION

1. I move to adopt Resolution No. 2018-21, approving Conditional Use Permit No. 2018-11.

PROJECT DESCRIPTION

The project is a request, filed by Balwinder Singh, to relocate an existing veterinary office to a new building. The use of a veterinary office requires a conditional use permit in the C-R Regional Commercial zone district.

Project Location

The veterinary office will be relocating to a new building to be constructed upon the phased demolition of the buildings located at 12207, 12191, 12181, and 12175 W. Lacey Boulevard. The project site is designated as Regional Commercial by the General Plan. The zoning for the property is C-R Regional Commercial. An address will be assigned by the building official at the time a building permit is submitted.

Entitlement

The applicant has submitted Site Plan Review No. 2018-09 for the project, proposing the construction of two buildings after the demolition of four buildings, located at 12207, 12191, 12181, and 12175 W. Lacey Boulevard. See Site Plan Review No. 2018-09, attached as **Attachment 1**. Site Plan Review No. 2018-09 was reviewed by the Site Plan Review Committee. Conditions of approval appear in the approval letter, attached as **Attachment 2**. All conditions of approval cited in the approval letter are also conditions of approval of this conditional use permit application.

Figure 1: Land Use
(Property outlined in red)



Figure 2: General Plan Designation Regional Commercial
(Property outlined in black)

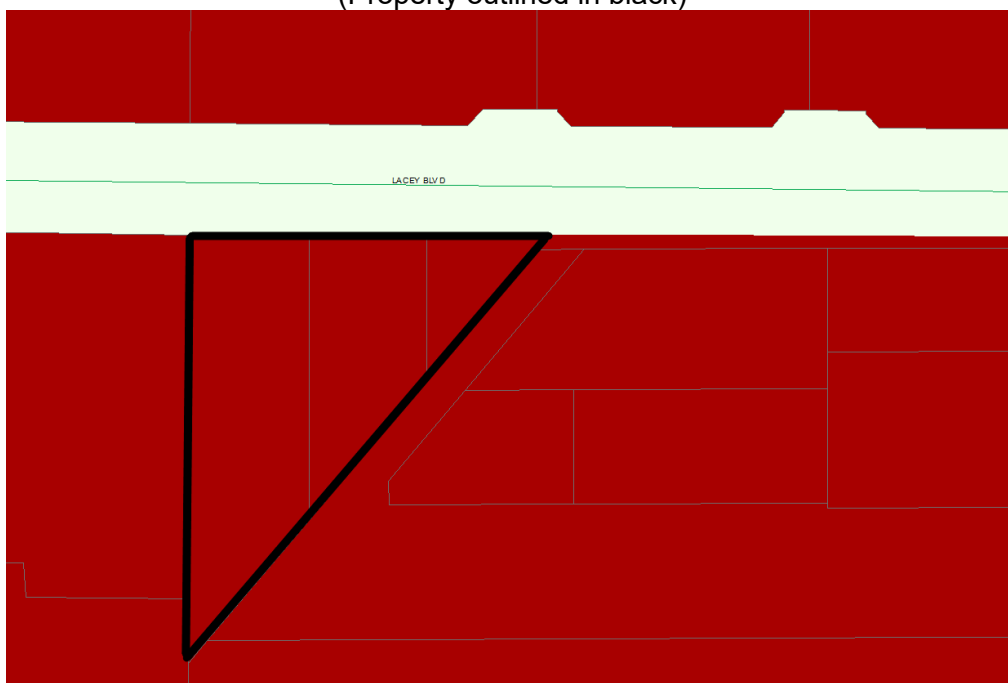
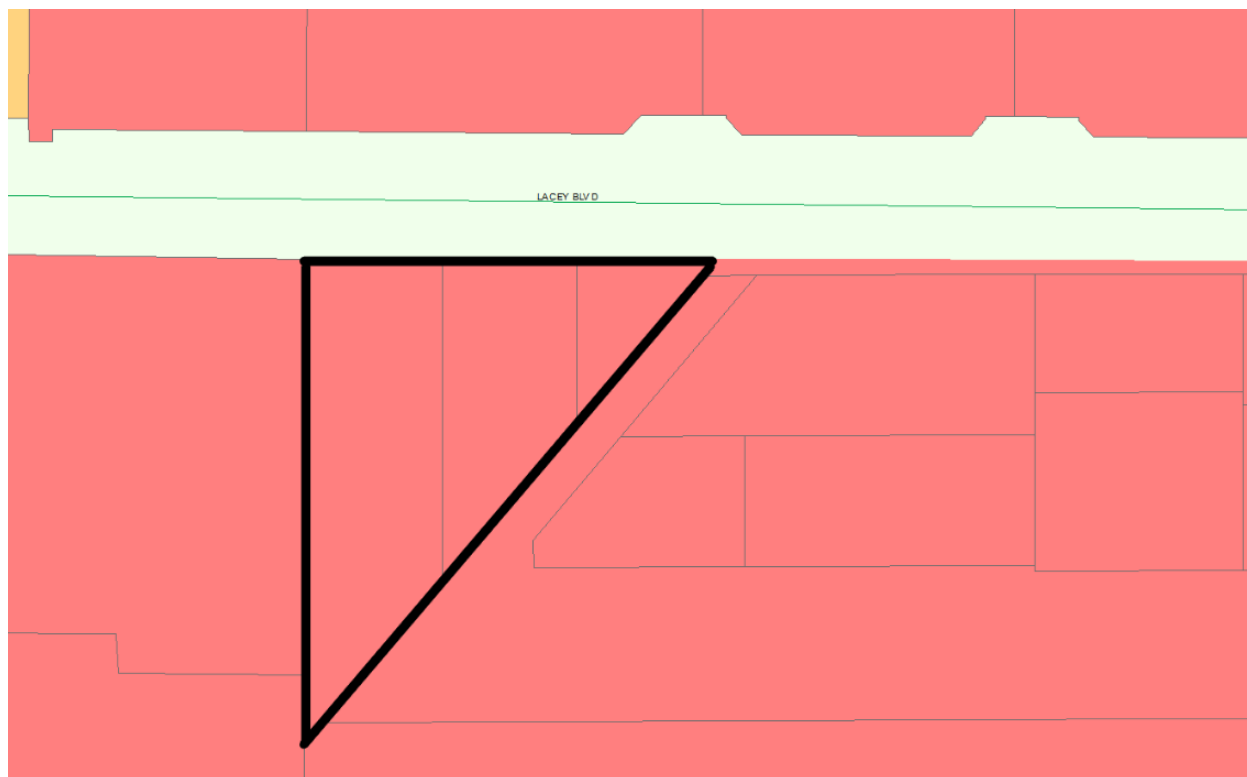


Figure 3: Zoning Designation R-C Regional commercial
(Property outlined in black)



BACKGROUND INFORMATION

General Plan Designation

The General Plan designates the property as Regional Commercial. According to General Plan Policy L47, the purpose of the Regional Commercial land use designation is to provide a variety of commercial goods, entertainment, and services in large-format shopping centers for both the Hanford community and the larger region outside of Hanford. The use of a veterinary office will provide a service to the Hanford community. According to General Plan Policy L48, typical uses in the Regional Commercial land use designation include goods, entertainment, and services that benefit from the market synergy that occurs when the uses are located in close proximity to each other. The use proposed by the applicant is consistent with the goals and policies of the Hanford General Plan to provide services for the Hanford community.

Zoning Designation

The property is zoned C-R Regional Commercial, which corresponds with the General Plan designation. The applicant seeks to allow a veterinary office in the C-R Regional Commercial zone district. According to the Commercial, Office, and Industrial Zone Use Table, presented in Table 17.08.030 of the Hanford Municipal Code, a veterinary office requires a conditional use permit in the C-R Regional Commercial zone district.

A “veterinary clinic or office” means a facility where animals are examined, diagnosed, or treated, but typically not kept overnight.

Figure 4: Land Use Table

Commercial, Office, and Industrial Use Table																
P = Use is Permitted by Right C = Use Requires Conditional Use Permit A = Use Requires Administrative Use Permit T = Use Requires Temporary Use Permit Blank = Use is Not Allowed																
Land Uses		Commercial Zones				Mixed Use Zones			Industrial and Office Zones				Other Zones			Specific Land Use Standards (See identified Section)
		C-N	C-R	C-S	C-H	MX-N	MX-C	MX-D	O-R	O	I-L	I-H	AP	PF	CO	
J30	Shooting range, outdoor															
J31	Specialty construction or trade service			P							P	P				
J32	Tailoring or clothing alterations	P		P		P	P	P	P							
J33	Tattooing or body art			C			C	P								
J34	Veterinary clinic or office		C	P			C			P						

PROJECT EVALUATION

Conformance with the standards of the C-R Regional Commercial zone district

17.18.030 Site Area

In the C-R Regional Commercial zone district, the minimum site area shall be 10 acres. The site may be divided into multiple separate lots, if a reciprocal use agreement for shared common access and parking areas is recorded with the Kings County Recorder's Office. The subject properties have been developed as three separate parcels, totaling 2.27 acres. Site Plan Review No. 2018-09 proposes the redevelopment of the site as an integrated shopping center with shared parking, landscaping, lighting, signage, and cross access. The recordation of a parcel map waiver, in order to merge the parcels, is required upon final building occupancy.

The existing parcel is considered a legally nonconforming lot, which means a lot legally created in accordance with the State Subdivision Map Act, prior to the adoption or amendment of the zoning ordinance, but which does not meet all of the provisions, standards, and requirements of

the zoning ordinance applicable to lots. A nonconforming lot may be used for any use allowed in the zone district in which it is located. Although the site area does not comply with the current C-R Regional Commercial zone district requirements for site area, the lot may still be used for any use permitted or conditionally permitted in the C-R Regional Commercial zone district. The parcel map waiver, required upon building occupancy, brings the site further into conformance, by developing a site with common access, shared parking, lighting, and landscaping.

17.18.040 Lot Dimensions

The minimum lot frontage in the R-C Regional Commercial zone district shall be 40 feet, unless a reciprocal use agreement for shared common access and parking areas is recorded with the Kings County Recorder's Office. Site Plan Review No. 2018-09 proposes the redevelopment of the site as an integrated shopping center with shared parking, landscaping, lighting, signage, and cross access. The recordation of a parcel map waiver, in order to merge the parcels, is required upon final building occupancy. Once the parcels are merged, the resulting parcel will have 303 feet of street frontage along Lacey Boulevard.

17.18.050 Coverage

The maximum coverage of the lot shall be determined by the combined building setback area requirements, open space requirements, and off-street parking and loading requirements. All required building setbacks, landscaping, off-street parking and loading requirements were evaluated and mandated as part of the site plan review process.

17.18.060 Building Setback Area

No structure is permitted to be placed within a building setback area. In the C-R Regional Commercial zone district, all frontages abutting a public street require a 15-foot setback. Therefore, a 15-foot building setback is required along Lacey Boulevard. The applicant provides 15-foot setbacks to the proposed structures. The setback area will be landscaped. The rear- and side-building setback may be zero, since the lot lines do not abut an R-L, R-H, R-M, O-R, PF, AP, or CO zone district.

17.18.070 Distances Between Structures

The minimum distance between a structure used solely for residential purposes and another structure shall be 10 feet, except as provided by the building code. The residential structure, located at 12175 Lacey Boulevard is proposed to be demolished. In accordance with approved Site Plan Review No. 2018-09, there are no residential structures to remain or be constructed on site.

17.18.080 Height of Structures

The maximum height of structures in the C-R Regional Commercial zone district is 35 feet. The maximum height of the buildings proposed is 30 feet. The structure does not exceed the height maximum of the District.

17.18.090 Driveways

Whenever possible, developments in the C-R Regional Commercial zone district shall share driveways to minimize the number of driveways on public streets. Site Plan Review No. 2018-09

proposes the consolidation of driveways for the properties along Lacey Boulevard. There will be one entrance and two exits to the site along Lacey Boulevard.

17.18.100 Off-Street Parking

The applicant proposes 44 parking stalls on site, two of which are ADA-accessible, as shown on approved Site Plan Review No. 2018-09. This exceeds the requirement of the Hanford Municipal Code Section 17.54.040 for integrated shopping centers, which requires one space per 350 square feet.

Calculation: 13,704 sq. ft. ÷ 350 sq. ft. = 39 parking stalls (minimum)

The development of the parking lot is mandated in Phase I of the site's development.

All requirements of the C-R Regional Commercial zone district, prescribed by Chapter 17.18 of the Hanford Municipal Code, are satisfied.

FINDINGS FOR APPROVAL

Conditional Use Permit No. 2018-11

In taking action on a Conditional Use Permit, the Planning Commission must make the appropriate findings, in accordance with Section 17.80.030 of the Hanford Municipal Code:

1. The proposed use would not impair the integrity and character of the zoning district in which it is to be located;

ANALYSIS: That the proposed relocation of a veterinary office to a new building will not impair the integrity and character of the C-R Regional Commercial zone district. The use of a veterinary office is consistent with the regulations set forth in the Hanford Municipal Code Section 17.18 for the C-R Regional Commercial zone district. The use of veterinary office is listed as a permitted use with the approval of a conditional use permit in the C-R Regional Commercial zone district, as prescribed in the Land Use Table in Section 17.08.030.

2. The proposed use would be compatible with existing land uses and future permitted land uses within the zoning district in which the proposed use is to be located;

ANALYSIS: That the proposed relocation of a veterinary office to a new building will not impair the integrity and character of the C-R Regional Commercial zone district. The use of a veterinary office is consistent with the regulations set forth in the Hanford Municipal Code Section 17.18 for the C-R Regional Commercial zone district. The use of veterinary office is listed as a permitted use with the approval of a conditional use permit in the C-R Regional Commercial zone district, as prescribed in the Land Use Table in Section 17.08.030. The veterinary office has previously occupied a building in the C-R Regional Commercial zone district within the same vicinity without issue to existing and future land uses. Conditions of approval will ensure the veterinary office does not disrupt the surrounding uses.

3. The proposed use is consistent with the General Plan;

ANALYSIS: The General Plan designates the property as Regional Commercial. According General Plan Policy L47, the purpose of the Regional Commercial land use designation is to provide a variety of commercial goods, entertainment, and services in large format shopping centers for both the Hanford community and the larger region outside of Hanford. The use of a veterinary office will provide a service to the Hanford Community. According to General Plan Policy L48, typical uses in the Regional Commercial land use designation include goods, entertainment, and services that benefit from the market synergy that occurs when the uses are located in close proximity to each other. The use proposed by the applicant is consistent with the goals and policies of the Hanford General Plan to provide services for the Hanford community.

4. There will not be significant effects upon the quality of the environment and natural resources;

ANALYSIS: That this project is categorically exempt from further environmental review, as per Section 15302 Replacement or Reconstruction of the California Environmental Quality Act (CEQA) Guidelines. A Notice of Exemption has been prepared and is attached as **Attachment 3**.

5. The proposed location, size, design, and operating characteristics of the proposed use would not be detrimental to the public interests, health, safety, convenience or welfare of the city and that any incompatible impacts of the proposed use are mitigated by conditions of approval.

ANALYSIS: That this application has been reviewed by the various City departments and evaluated for conformity with the requirements of the Hanford Municipal Code Section 17.18 for the C-R Regional Commercial zone district. The development and relocation of the veterinary office is compliant with the Hanford Municipal Code. Any other improvements or mitigations required for public health, safety, and welfare have been applied to the project as conditions of approval in Site Plan Review No. 2018-28 and Resolution No. 2018-20, including the following:

- That the keeping of animals in the outdoor kennels overnight shall not be permitted between the hours of 10:00 p.m. and 7:00 a.m.; and
- That the outdoor area used in conjunction with the veterinary office shall be routinely cleaned so as to prevent odor.

PUBLIC COMMENTS

A Notice of Public Hearing for a Conditional Use Permit was noticed in the local newspaper on August 31, 2018 and mailed to property owners within 500 feet of the project site on August 30, 2018. No comments were received, as of the date of preparation of this report.

ENVIRONMENTAL ASSESSMENT

That this project is categorically exempt from further environmental review, as per Section 15302 Replacement or Reconstruction of the California Environmental Quality Act (CEQA) Guidelines. A Notice of Exemption has been prepared and is attached as **Attachment 3**.

RECOMMENDATION

Staff recommends that the Planning Commission:

1. Adopt Resolution No. 2018-21, approving Conditional Use Permit No. 2018-11.

Applicant/Property Owner

Balwinder Singh
12181 Lacey Boulevard
Hanford, CA 93230

RESOLUTION NO. 2018-21

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HANFORD PERTAINING TO CONDITIONAL USE PERMIT NO. 2018-11, A REQUEST TO RELOCATE AN EXISTING VETERINARIAN OFFICE TO A NEW BUILDING WITHIN THE SAME VICINITY IN THE C-R REGIONAL COMMERCIAL ZONE DISTRICT. THE PROJECT IS LOCATED ALONG WEST LACEY BOULEVARD, EAST OF CENTENNIAL DRIVE (APN 011-020-008, -009, AND -010).

At a regular meeting of the City of Hanford Planning Commission duly called and held on September 11, 2018, on motion of Commissioner _____, seconded by Commissioner _____, and duly carried, the following resolution was adopted:

WHEREAS, Conditional Use Permit No. 2018-11, a request to relocate an existing veterinarian office to a new building within the same vicinity in the C-R Regional Commercial zone district, has been reviewed by the Planning Commission of the City of Hanford in accordance with Title 17.80 of the Hanford Municipal Code; and

WHEREAS, the project is located along West Lacey Boulevard, east of Centennial Drive (APN 011-020-008, -009, and -010); and

WHEREAS, the site will be developed, as shown in Site Plan Review No. 2018-09, attached as **Exhibit A**; and

WHEREAS, staff, the various governmental departments, and the Planning Commission have given careful consideration to this conditional use permit application and have made recommendations thereon; and

WHEREAS, the project is categorically exempt from further environmental review, as per Section 15302 Replacement or Reconstruction of the California Environmental Quality Act (CEQA) Guidelines and a Notice of Exemption has been prepared for the project; and

WHEREAS, the Planning Commission has reviewed the facts and evidence provided in the staff report and the written and oral evidence presented at the public hearing; and

THEREFORE, BE IT RESOLVED that the Planning Commission hereby makes the following findings pursuant to Section 17.80.050 of the Hanford Municipal Code:

1. The proposed use would not impair the integrity and character of the zoning district in which it is to be located;

ANALYSIS: That the proposed relocation of a veterinary office to a new building will not impair the integrity and character of the C-R Regional Commercial zone district. The use of a veterinary office is consistent with the regulations set forth in the Hanford Municipal Code Section 17.18 for the C-R Regional Commercial zone district. The use of veterinary office is listed as a permitted use with the approval of a conditional use permit in the C-R Regional Commercial zone district, as prescribed in the Land Use Table in Section 17.08.030.

2. The proposed use would be compatible with existing land uses and future permitted land uses within the zoning district in which the proposed use is to be located;

ANALYSIS: That the proposed relocation of a veterinary office to a new building will not impair the integrity and character of the C-R Regional Commercial zone district. The use of a veterinary office is consistent with the regulations set forth in the Hanford Municipal Code Section 17.18 for the C-R Regional Commercial zone district. The use of veterinary office is listed as a permitted use with the approval of a conditional use permit in the C-R Regional Commercial zone district, as prescribed in the Land Use Table in Section 17.08.030. The veterinary office has previously occupied a building in the C-R Regional Commercial zone district within the same vicinity without issue to existing and future land uses. Conditions of approval will ensure the veterinary office does not disrupt the surrounding uses.

3. The proposed use is consistent with the General Plan;

ANALYSIS: The General Plan designates the property as Regional Commercial. According General Plan Policy L47, the purpose of the Regional Commercial land use designation is to provide a variety of commercial goods, entertainment, and services in large format shopping centers for both the Hanford community and the larger region outside of Hanford. The use of a veterinary office will provide a service to the Hanford Community. According to General Plan Policy L48, typical uses in the Regional Commercial land use designation include goods, entertainment, and services that benefit from the market synergy that occurs when the uses are located in close proximity to each other. The use proposed by the applicant is consistent with the goals and policies of the Hanford General Plan to provide services for the Hanford community.

4. There will not be significant effects upon the quality of the environment and natural resources;

ANALYSIS: That this project is categorically exempt from further environmental review, as per Section 15302 Replacement or Reconstruction of the California Environmental Quality Act (CEQA) Guidelines. A Notice of Exemption has been prepared for the project.

5. The proposed location, size, design, and operating characteristics of the proposed use would not be detrimental to the public interests, health, safety, convenience or welfare of the city and that any incompatible impacts of the proposed use are mitigated by conditions of approval.

ANALYSIS: That this application has been reviewed by the various City departments and evaluated for conformity with the requirements of the Hanford Municipal Code Section 17.18 for the C-R Regional Commercial zone district. The development and relocation of the veterinary office is compliant with the Hanford Municipal Code. Any other improvements or mitigations required for public health, safety, and welfare have been applied to the project as conditions of approval in Site Plan Review No. 2018-28 and this resolution, including the following:

- That the keeping of animals in the outdoor kennels overnight shall not be permitted between the hours of 10:00 p.m. and 7:00 a.m.; and
- That the outdoor area used in conjunction with the veterinary office shall be routinely cleaned so as to prevent odor.

THEREFORE, BE IT FURTHER RESOLVED that the Planning Commission has determined that Conditional Use Permit No. 2018-11 be approved, subject to the conditions of approval for Site Plan Review No. 2018-09, attached as **Exhibit B**, and the following conditions:

1. That the keeping of animals in the outdoor kennels overnight shall not be permitted between the hours of 10:00 p.m. and 7:00 a.m.; and
2. That the outdoor area used in conjunction with the veterinarian office shall be routinely cleaned so as to prevent odor.
3. An approved permit shall expire and shall become null and void two (2) years after the date of approval unless, prior to expiration a building permit is issued and construction commenced or the use has commented.

PASSED AND ADOPTED at a regular meeting of the Hanford City Planning Commission by the following vote:

AYES:
NOES:
ABSTAIN:
ABSENT:

STATE OF CALIFORNIA)
COUNTY OF KINGS) ss
CITY OF HANFORD)

I, **DARLENE R. MATA**, Secretary of the City of Hanford Planning Commission, do hereby certify the foregoing Resolution was duly passed and adopted by the Planning Commission of the City of Hanford at a regular meeting thereof held on the 11th day of September 2018.

Darlene R. Mata, Secretary

Exhibit A
Site Plan No. 2018-09

Attachment: Resolution No. 2018-21 (CUP 2018-11) (CUP 2018-11 Veterinary Office)

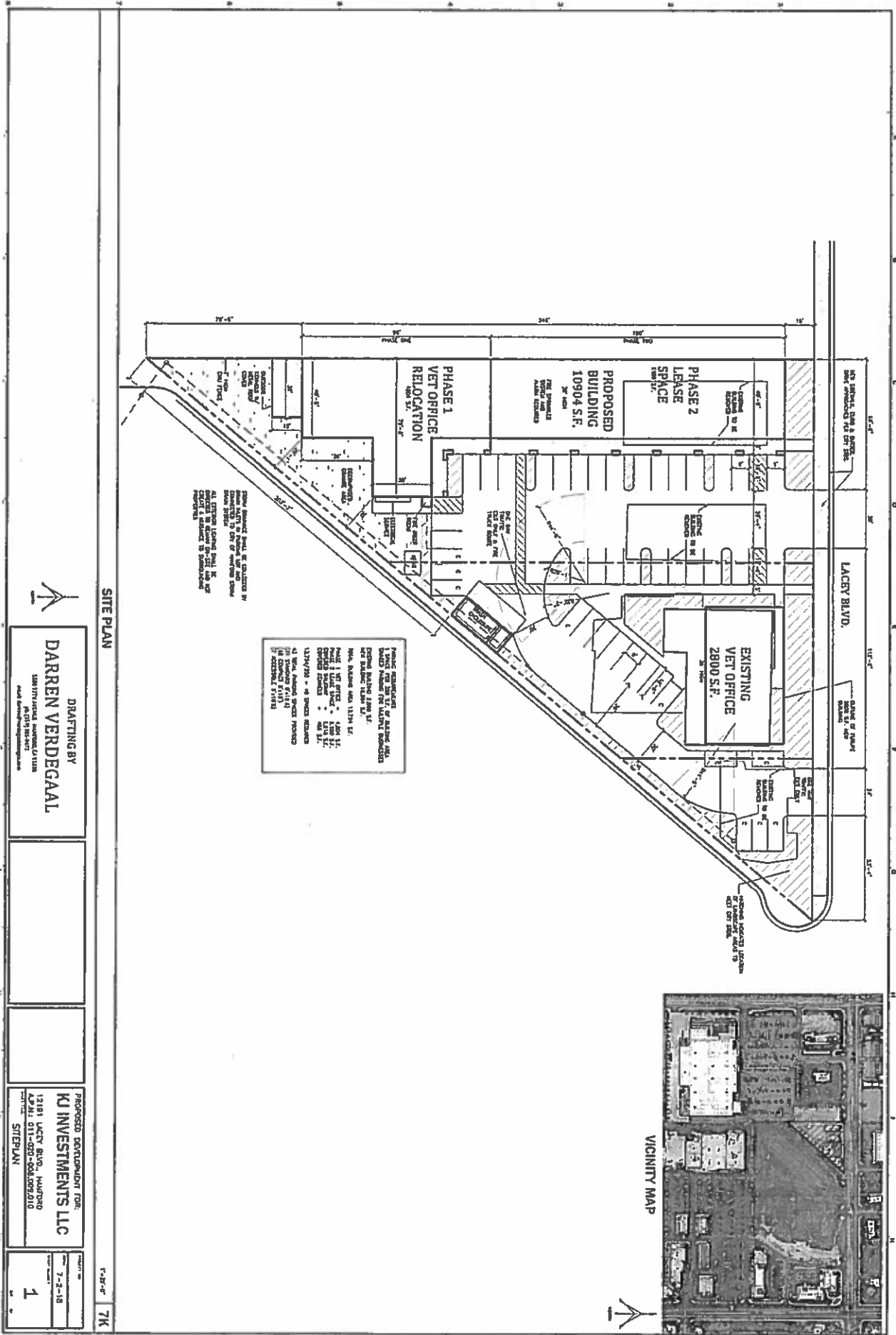


Exhibit B
Site Plan Review No. 2018-09 Conditions of Approval

Attachment: Resolution No. 2018-21 (CUP 2018-11) (CUP 2018-11 Veterinary Office)

City of HANFORD

CALIFORNIA 93230
CITY OFFICES 317 NORTH DOUTY STREET



MAYOR
DAVID G. AYERS
VICEMAYOR
SUE SORENSEN
COUNCIL MEMBERS
MARTIN DEVINE
DIANE SHARP
JUSTIN MENDES
CITY MANAGER
DARREL L. PYLE
CITY ATTORNEY
ROBERT M. DOWD

DATE: May 10, 2018

PROJECT: Site Plan Review 2018-09

APPLICANT: Balwinder Singh

LOCATION: 12191 Lacey Boulevard

PROPOSAL: Veterinary Office and leasable retail space

ZONING: C-R Regional Commercial

SITE PLAN REVIEW COMMITTEE REVIEW DATE: February 21, 2018; April 25, 2018

Enclosed for your review are the comments and decisions of the Site Plan Review Committee. Please review all comments, since they may impact your project:

- ☐ **RESUBMIT:** Major changes to your plans are required. Prior to accepting construction drawings for a building permit. You project must return to the Site Plan Review Committee for review of the revised plans.
- ☐ **MEETING REQUIRED:** During site plan review, concerns were identified, schedule a meeting with the following prior to resubmittal:
- | | |
|--------------------------------------|---|
| ☐ Planning | ☐ Building |
| ☐ Fire | ☐ Engineering |
| ☐ Solid Waste | ☐ Police |
| ☐ Wastewater | ☐ Parks and Recreation |

☒ **REVISE AND PROCEED**

- ☒ Approved subject to the following and the attached conditions of approval.
☒ Submit plans for a building permit between the hours of 8:00 a.m. and 4:00 p.m.
☒ Your Plans must be reviewed by:

- | | |
|---|---|
| ☐ City Council | ☒ Planning Commission CUP-Vet. Office |
| ☐ Parking and Traffic Commission | ☐ Parks and Recreation Commission |
| ☐ Other: _____ | |

Signed,

Gabrielle de Silva

Gabrielle de Silva, Associate Planner
Community Development Department

May 10, 2018
DATE

Attachment: Resolution No. 2018-21 (CUP 2018-11) (CUP 2018-11 Veterinary Office)

EXPIRATION

A site plan approval shall expire one (1) year from its approval date, unless a building permit application has been submitted or the use has commenced. Prior to expiration, the Community Development Director may extend the permit expiration date by one (1) year if there is substantial evidence that the applicant is diligently pursuing building permit approval or commencement of the use (Hanford Municipal Code Section 17.72.070).

CALIFORNIA ENVIRONMENTAL QUALITY ACT

Site Plan Review is a ministerial action, therefore not subject to the California Environmental Quality Act (CEQA) (CEQA Guidelines 15268 and MC 17.70.070).

COMMENTS AND CONDITIONS OF APPROVAL

THE FOLLOWING DEPARTMENT COMMENTS AND CONDITIONS ARE ATTACHED:

- ☒ ADMINISTRATION
- ☒ PLANNING
- ☒ BUILDING
- ☒ ENGINEERING
- ☒ SOLID WASTE
- ☒ WASTEWATER
- ☐ POLICE
- ☒ FIRE
- ☐ PARKS AND RECREATION

DEFENSE AND INDEMNIFICATION PROVISION

That the applicant shall defend, indemnify, and hold harmless the City of Hanford ("City"), its officials, officers, employees, representatives, agents and attorneys, from and against all claims, damages, losses, judgments, liabilities, expenses and other costs, including litigation costs and attorney's fees, arising out of, resulting from, or in connection with, the City's act or acts leading up to and including approval of any environmental document and/or granting of any approvals relating to the Project. Applicant's obligation to defend, indemnify and hold the City harmless specifically includes, but is not limited to, any suit or challenge by any third party against the City which challenges or seeks to set aside, void or annul the legality or adequacy of any environmental document approved by the City or any approval related to the Project

APPLICANT'S STATEMENT (Must be signed prior to issuance of a building permit)

I have reviewed a copy of the Site Plan Review Approval No. 2018-09 and I understand that the proposed construction and/or land use is dependent upon the fulfillment of the conditions of approval and construction of all required public improvements prior to use, inauguration or occupancy, unless other arrangements are approved.

Applicant or Authorized Representative

PLANNING DIVISION

Contact Associate Planner Gabrielle de Silva: (559) 585-2578
concerning questions that you may have on the conditions listed below:

C-R Regional Commercial Checklist: (all checked shall apply)**Special Conditions:**

1. That the project is subject to a conditional use permit, in order to relocate the veterinary office, as discussed.
2. That a parcel map waiver is required in order to merge the parcels and allow cross access and joint parking.
3. That the entire parking lot and access driveways be developed in phase one.

General:

- ☒ That approval of this project does not exempt compliance with all applicable sections of the Zoning Ordinance, Public Works Improvement Standards, fees, or other City Ordinances.
- ☒ That all approved proposals of the applicant be conditions of development, if not mentioned herein.
- ☒ That the site be developed according to the approved site plan, titled Site Plan Review No. 2018-09 with minor modifications to be approved by the Community Development Department.
- ☒ That no expansion of the use which would tend to increase the projected scale of operations beyond the scope and nature described in this Site Plan Review shall be permitted except upon application for, and approval of, modification of this application according to all procedures and requirements thereof.

Special Requirement:

- ☒ That a parcel map waiver be recorded prior to the final building inspection, in order to merge the three parcels.

Cultural Resources:

- ☒ That if cultural resources are discovered during construction or related activities, all work shall be halted and a qualified archeologist and the City of Hanford shall be notified. The find shall be properly investigated and appropriate measures are to be taken before construction may continue.

Building Setback Areas (17.18.060)

- ☒ That the appropriate setbacks be maintained, as follows:
 - ☒ The front building setback area shall be 15 feet along Lacey Boulevard.

- ☒ The rear building setback may be zero.
- ☒ The side building setback may be zero.
- ☐ The street side building setback shall be 15 feet.

Off Street Parking: (Section 17.54).

- ☒ That the applicant shall provide 44 parking stalls, two of which are ADA-accessible, as shown on the approved Site Plan Review. A minimum of 38 parking stalls are required, as per the Hanford Municipal Code Section 17.54.040 for integrated, which requires, "Integrated shopping centers: one space per 350 square feet."

Calculation: 13,704 sq. ft. ÷ 350 sq. ft. = 39 parking stalls (minimum)

- ☒ That the standard parking space shall not be less than 18.5 feet in length and nine feet in width, exclusive of aisles and access drives (Section 17.54.110 A).
- ☒ That the maximum number of compact-car parking spaces is limited to 30 percent of the total parking spaces required. A compact parking space shall not be less than 16 feet in length and 8 feet in width, and marked for compact cars (Section 17.54.110 B. and C).
- ☒ There shall be no more than four compact spaces adjacent to each other.
- ☒ That parking for bicycles and low-emission vehicles shall be provided in accordance with the latest adopted version of the California Building Code (Section 17.54.190).
- ☒ In the commercial zone district, not less than five percent of the interior square footage of a parking area shall be landscaped with trees and other plant materials suitable for ornamentation. **Parking areas are to have one tree placed at every four lineal parking stalls.**

Signage: (Section 17.56).

- ☒ That any/all signs proposed for this development shall be subject to the requirements and prescribed in Chapter 17.56 of the Hanford Municipal Code. A separate application is required.

Fencing and Walls: (Section 17.18.130)

- ☒ That no fence or wall shall be placed in front of or within any landscaped area located next to a street.
- ☒ That the open storage of materials and equipment attendant to a use shall be permitted only within an area surrounded or screened by a solid wall or fence seven feet minimum in height.
 - ☒ Along a rear lot line not exceeding seven feet in height
 - ☒ Along an interior side lot line not exceeding seven feet in height beginning at 10 feet from the front lot line.

- ☒ That any proposed fencing on the site be maintained in good repair.
- ☒ That no fence or wall shall be placed within the public right-of-way.
- ☒ That a masonry fence exceeding three (3) feet in height shall require engineered footings and a building permit. All other fencing exceeding seven (7) feet in height shall require engineered post footings and a building permit.
- ☒ That no hedge, shrub, fence, or wall exceeding the three (3) feet in height, or four (4) feet in height if the upper one (1) foot is fifty (50) percent or more open shall be planted, placed, or maintained within the twenty-five (25) feet corner sight triangle of a corner lot, or along a front or street side property line where the hedge, shrub, fence, or wall creates a traffic or pedestrian hazard as determined by the Community Development Director.

Landscaping: (Section 17.18.120 and 17.52).

- ☒ Landscaping shall be provided and permanently maintained in a setback area not less than 15 feet from a lot line adjoining a street.
- ☒ General Design Standards: the following features shall be incorporated into the design of the proposed landscape and shown on the required landscape plans:
 - ☒ Publicly maintained landscape areas shall be separated from privately maintained landscape areas with, at a minimum, a four (4) inch wide concrete mow strip.
 - ☒ Pedestrian access to sidewalks and structures shall be integrated with the design of landscaped areas.
 - ☒ Landscape adjacent to driveways and parking areas shall be protected from vehicle damage through the provision of a minimum six (6) inch high and six (6) inch wide concrete curb.
 - ☒ Concrete mow strips, when used, shall be a minimum of four (4) inches in width.
 - ☒ Trees and shrubs shall be planted so that at maturity they do not interfere with utility lines and traffic safety sight areas.
 - ☒ Trees and shrubs shall be planted and maintained in a manner that protects the basic rights of adjacent property owners, particularly the right to solar access.
 - ☒ Trees planted within five (5) feet of sidewalks or curbs shall have an eighteen (18) inch by ten (10) foot long linear root barrier placed at each edge of the sidewalk or face of curb, centered on the tree.
- ☒ Plant materials. Plant materials shall be selected and installed in accordance with the following requirements:
 - ☒ The size of ten (10) percent of the trees to be planted shall be twenty-four (24) inch box or larger. The remaining trees shall be sized fifteen (15) gallons or larger.

- ☒ The size of seventy (70) percent of plants and shrubs shall be at five (5) gallon or larger. The remaining plants and shrubs shall be sized one (1) gallon or larger.
- ☒ The size of groundcover at planting shall be one (1) gallon or larger.
- ☒ Groundcover shall be designed to have one hundred (100) percent coverage within two (2) years.
- ☒ Drought tolerant plant material and climate appropriate species shall be emphasized in the design.
- ☒ That the landscaped area shall be planted with live and healthy plant materials suitable for screening/or ornamenting the site. Landscaped areas shall be watered by automatic systems and designed and developed in accordance with Chapter 12.08 and the most recent State Model Water Efficient Landscaped Ordinance.
- ☒ That no fence, hedge, or shrub shall be installed, planted, or maintained along a street frontage, which creates a traffic or pedestrian hazard.

Outdoor Lighting Standards (Section 17.50.140)

- ☒ That all lights and light fixtures, except public street lights, shall be located, aimed or shielded so as to minimize light trespassing across property boundaries or skyward.
- ☒ That building mounted lighting fixtures shall be attached only to the walls of the building. The top of a light fixture attached to a building wall shall not be higher than the top of the building parapet or the top of the roof eave, whichever is lower.
- ☒ That the canopy ceiling light fixtures shall be recessed or the sides of the lens area shall be shielded, in order to eliminate emission of horizontal light.
- ☒ That the height of freestanding light fixtures, including freestanding parking lot fixtures, shall be measured from the top of a light fixture to the adjacent grade at the base of the support for that light fixture and shall not exceed 50 feet.

Dust Control:

- ☒ That the appropriate dust-control practices of the San Joaquin Valley Air Pollution Control District shall be implemented.
- ☒ That the any necessary permits be obtained through the San Joaquin Valley Air Pollution Control District.

BUILDING DIVISION
SPR 2018-009(502-1003) Veterinary Building
4-25-18
W Lacey Blvd

Contact Building Official: Tom Webb (559) 585-2584
 Concerning questions that you may have on the conditions listed below:

1. That building permits must be obtained from the City Building Division for each structure to include but not limited to: buildings, pools, fences, trash enclosures, signs and carports for any structural, plumbing, electrical or mechanical work being done.
 2. That no building or structure shall be used or occupied, and no change in the existing occupancy classification of building or structure or portion thereof shall be made until the building official has approved the change and issued a Certificate of Occupancy.
 3. That detailed dimensioned plans be provided to the Building Division for each structure prior to obtaining construction permits. Each structure will require a separate submittal and permit.
 4. That each structure will require plans and calculations signed by an architect or engineer licensed to practice in the State of California. Submittal shall consist of as applicable:
 - 4.1 1 copy of the City of Hanford Permit Application form
 - 4.2 6 complete sets of Drawings, unless noted, including:
 - 4.2.1 Grading Plan (Civil Drawings, for reference)
 - 4.2.2 Site Plan
 - 4.2.3 Architectural Drawings
 - 4.2.4 Structural Drawings
 - 4.2.5 Electrical Drawings
 - 4.2.6 Mechanical Drawings
 - 4.2.7 Plumbing Drawings
 - 4.2.8 Landscape Plan (for reference)
 - 4.2.9 Planning Dept. "Conditions of Approval" or "Resolution" printed on the drawings and part of the drawing submittal
 - 4.2.10 A minimum of 2 sets shall be stamped and wet signed by an Architect or Engineer licensed in the State of California.
- **** Each structure will be considered a separate submittal. Grading, Landscaping, Signage and all Fire permits are separate submittals as well and require separate applications and submittals as applicable. ******
- 4.3 2 complete sets of documentation, unless noted, including:
 - 4.3.1 Architectural Specifications
 - 4.3.2 Structural Calculations
 - 4.3.3 Electrical Calculations, if not included on the drawings
 - 4.3.4 Mechanical Calculations, if not included on the drawings
 - 4.3.5 Plumbing Calculations, if not included on the drawings
 - 4.3.6 Energy Calculations, if not included on the drawings
 - 4.3.7 CalGreen Compliance, if not included on plans
 - 4.3.8 **Compliance with the City of Hanford Landscape Ordinance**
 - 4.3.9 A minimum of 2 sets shall be stamped and wet signed by an Architect or Engineer licensed in the State of California.
 5. That the site, as well as the buildings, shall be made accessible and usable by the disabled in accordance with the California Building Code, Chapter 11B.

6. That a school impact fee of \$0.56 (or revision thereof) for each square foot of new building area be paid when building permits are issued.
7. That all special inspection reports be submitted to the Building Division prior to final inspection.
8. That all construction shall conform to the Most Current Edition (2016) of the California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Fire Code, California Energy Code and CalGreen.
9. That Kings County Impact Fees shall apply at current rates.
10. That the tenant, lessee, and/or owner are responsible for compliance with the Americans with Disabilities Act. By federal law your facility must be made accessible to the highest degree possible.
11. That the applicant provide a complete set of AS-BUILT drawings on CD, in "tif" format, to the Building Division prior to Final Inspection.
12. That block walls and trash enclosures require separate submittals/permits through the Building Dept.
13. That the address will be assigned at time of permit

Hanford Fire Department

Contact Fire Chief Chris Ekk @ 559-585-2545 or cekk@cityofhanfordca.com concerning questions that you may have on the following conditions.

Site Plan Review

Date: February 26, 2018

Project #: 2018-09 File# 502-1003 Lacey Blvd. & 12th Ave. Vet Office and Retail

General Instructions

1. Approval of this project does not exempt compliance with all applicable sections of the City adopted fire codes and local fire ordinances.
2. All fire protection systems must be installed and operational prior to occupying the building.
3. All permits shall be issued and fees paid prior to scheduling inspections with the Fire Department. To schedule appointments for inspections, please email at grocha@cityofhanfordca.com and dbodiroga@cityofhanfordca.com
4. Scope of work shall be clearly stated on all plans submitted for permit.
5. All Deferred Submittals shall be listed on the building plan Title Page. All deferred submittals are required to be submitted within 30-days of building permit issuance.

The following comments are applicable if checked:

1. ☐ No comments.
2. ☒ This project must comply with latest applicable codes.
3. ☒ Project must meet minimum fire flow requirements per the table in Appendix B & C of the 2016 California Fire Code.
4. ☒ If a new fire hydrant flow test is required, contact the fire department for submittal requirements.
5. ☒ Based on the occupancy classification, an automatic sprinkler system is required for this project. **A separate fire department permit is required.** Contact the fire department for submittal process. Without providing additional access to the southern and western side of the building, sprinklers will be required. See Item # 15.
 - ☒ NFPA 13 System per CFC 903.3.1.1
 - ☐ NFPA 13R System per CFC 903.3.1.2 (Group R occupancies)
 - ☐ NFPA 13D System per CFC 903.3.1.3 (one and two-family dwellings, Group R-3, and townhouses)
6. ☒ For automatic sprinkler systems, **a separate permit must be submitted** for the underground system supplying the sprinkler system. Contact the fire department for submittal information.

7. ☒ When a sprinkler system is required with 21 or more sprinkler heads, the system shall be monitored by a Central Station Service. Fire alarm and detection systems required by Chapter 9 of the currently adopted edition of the California Building Code (CBC) and CFC shall be installed per NFPA 72. **A separate fire department permit is required** for fire sprinkler monitoring and/or fire alarm systems required by the latest edition of the CBC. Contact the fire department for submittal process.
8. ☒ A hydrant will be required within 50 feet of the fire department connection. **Knox FDC Plugs, Model #3401**, are required on all FDC's. The ordering of Knox Box products can be done directly at www.knoxbox.com or an order form can be obtained from the fire department. FDC should be on the Lacey Blvd side of this project in-line with the fire riser room and a hydrant installed within 50 feet.
9. ☒ When any portion of the facility or building to be protected is more than 400 feet from a hydrant on a fire apparatus access road as measured by an approved route around the exterior of the building, on-site fire hydrants and mains shall be provided where required by the fire code official.
10. ☒ Depending on the location of the existing fire hydrant(s), additional fire hydrants may be required. All hydrants must be in place and accepted by the fire department prior to any combustibles being brought onto the site. Existing hydrants around this project are not acceptable due to their location across Lacey Blvd or greater than 400'.
11. ☐ No additional hydrants are necessary for this project.
12. ☒ Number of additional hydrants necessary for this project: 2 One hydrant for the FDC on the Lacey Blvd. side of the project, and one hydrant in the middle of the project between the existing and the proposed building.
13. ☐ Fire hydrant spacing shall be as follows:
- a. **Residential development:** one hydrant shall be installed at 500 foot intervals.
 - b. **Commercial development:** one hydrant shall be installed at 300 foot intervals.
 - c. Or as required by Appendix C of the California Fire Code
14. ☒ Fire hydrant protection posts shall be installed at all fire hydrants that are subject to vehicle damage.
15. ☒ Approved fire apparatus access roads shall be provided for every facility, building, or portion of a building constructed or moved onto or with the City of Hanford. It shall extend to within 150 feet of all portions of the facility and all portions on the exterior walls of the first story of the buildings as measured by an approved route around the exterior of the building or facility. There is no access to the southern portion of the new office building and there is no access to the west side of the building, since it is being built on the property line. This does not meet the 150 feet requirement. The fire code official is authorized to increase the

dimension of 150 if the building is equipped throughout with an automated sprinkler system CFC 503.1.1.1.

16. ☐ All dead-end access roads in excess of 150 feet must be provided with an approved turn-around or hammer head complying with City standards.
17. ☐ Existing access roads are sufficient. Access to the southern portion of the building is not sufficient. In order to keep this plan, an automatic sprinkler system will be required.
18. ☒ All access road shall not be less than 20 feet wide and 13 feet 6 inches in height.
19. ☒ Access road turning radius for fire apparatus is as follows: Please confirm radii on the access road through this project.
 - a. 20 feet 1 inch inside turning radius
 - b. 44 feet 6 inch outside radius
20. ☒ Additional access roads may be required per CFC 2016 Section 503.1.2. The fire code official is authorized to require more than one fire apparatus access road based on the potential for impairment of a single road by vehicle congestion, condition of terrain, climatic conditions or other factors that could limit access.
21. ☒ Traffic calming devices shall not be installed onto fire department emergency access roads unless prior approval is obtained from the Hanford Fire Department.
22. ☒ Areas identified as "Fire Lanes" must be identified as such per requirements set forth in the California Vehicle Code Section 22500.1. Identified later in the process.
23. ☒ Temporary or permanent fire department access roads shall be constructed in accordance with City Standards ST-36. All weather access roads shall be in place prior to any combustible construction being brought onto the premises unless approved by the fire department.
24. ☐ Locked gates installed across fire department access roads:
 - a. **Manual gates** with a chain lock require a **Knox Padlock, Model #3770**, to be installed on them; or a **Knox Box, Model 3200 Series**, shall be installed on the exterior of the gate and a key to the lock on the gate must be placed in the Knox Box.
 - b. **Electric gates** shall be equipped with an electric **Knox Key Switch, Model 3502**, at the gate location.
 - c. In case of a loss of power, electrically operated gates shall have a means of back-up power or shall default in the open position for immediate fire department access.

- d. At no time shall the width of the fire department access road be reduced below 20-feet wide **through or at any gates** along the fire departments' emergency access roads due to protruding objects from gate supports, frames, signs, access booths, curbs, etc.

25. ☒ A Knox Box will be required. Keys that open all locked areas will also be required and placed in the Knox Box. The ordering of Knox Box products can be done directly at www.knoxbox.com or an order form can be obtained from the fire department.
26. ☒ All address numbers shall be installed onto the building and shall be visible from the frontage street. The color of the address numbers shall be in a contrasting color to the building.

Size of Address Numbers:

- Downtown area (existing buildings): 4-inch numbers,
 - Buildings 20-ft. or less from the street: 6-inch numbers,
 - Buildings 21- to 40-ft. from the street: 8 inch numbers,
 - Buildings more than 40-ft. from street: 12 inch numbers.
27. ☐ Commercial cooking equipment that produce grease laden vapors shall be provided with a Type I hood. ***A separate permit is required for the Type I hood.*** Contact the fire department for submittal information.
28. ☐ All commercial cooking appliances creating grease laden vapors shall have a K-Class fire extinguisher within 30-feet of cooking appliances in accordance with the most currently adopted edition of the CFC.
29. ☐ ***A separate permit is required*** for all hazardous material and/or flammable and combustible liquids, gases, solids, etc., over the exempt amounts set forth in the latest adopted edition of the California Fire Code.
30. ☐ ***A fuel tank permit is required*** for underground and aboveground gasoline/LPG/Diesel.
31. ☐ Combustible high-piled storage over 12 feet ***requires a separate fire department review and permit.*** Contact the fire department for further information.



City of Hanford

Department of Public Works

900 South 10th Ave. • Hanford, CA 93230-5234 • (559) 585-2550

Utilities Division Comments

PROJECT: SPR# 18-09 – Vet Office – 12191 Lacey Boulevard

General:

1. That all work within the public street right-of-way shall be under the control of a General Engineering Contractor, licensed for that purpose. Contractor shall verify all conditions in the field prior to commencing construction.
2. That locations of existing water, sanitary sewer and storm drain mains in the vicinity of the project site will be marked by Public Works Department staff based upon the city's best available records. Contractor shall provide city with a minimum of 48 hours prior notice when requesting location of existing utilities at (559) 585-2564. The City of Hanford is not a member of Underground Service Alert (U.S.A.).
3. That all sewer and water utility work and materials shall conform to City of Hanford Standards and Specifications, latest edition. All Utility connections located within Lacey Blvd shall be bored.

Water:

1. That the developer shall provide an accurate fixture unit count and size water services in accordance with the requirements of the Uniform Plumbing Code, latest edition.
2. That the developer shall furnish and install any new water service assemblies required for the project including water meters and meter boxes for both domestic and landscape uses. If existing services are utilized, fixture counts to ensure adequate size of service is required. All new services are to come off of Lacey Blvd.
3. That the developer shall furnish and install appropriate cross connection / backflow prevention assemblies for all required water services, including fire service lines.
4. That all backflow prevention assemblies required for the development shall be tested and approved by a certified technician prior to occupancy. Copies of all backflow test results shall be provided to the City of Hanford Utilities Division.
5. It is recommended that developer install a separate irrigation service to reduce the sewage usage bill. Sewage bills are calculated off of domestic water flows.

Sewer:

1. If an existing sanitary sewer lateral is not serviceable, the developer shall furnish and install a minimum four inch diameter sanitary sewer lateral to serve the project site. New sewer

Mike Cosenza
UTILITIES SUPERINTENDENT (559) 585-2564

5/10/18
DATE

Attachment: Resolution No. 2018-21 (CUP 2018-11) (CUP 2018-11 Veterinary Office)



City of Hanford

Department of Public Works

900 South 10th Ave. • Hanford, CA 93230-5234 • (559) 585-2550

lateral shall be connected to the sanitary sewer main located within Lacey Blvd and shall be bored.

2. That the developer shall furnish, install and maintain a grease trap assembly on all sewer laterals receiving process water from commercial food preparation facilities, if applicable. Grease trap assemblies shall conform to the requirements of the Uniform Plumbing Code, latest edition, and shall be approved by the City Building Official prior to installation.

Attachment: Resolution No. 2018-21 (CUP 2018-11) (CUP 2018-11 Veterinary Office)

Mike Cosenza
UTILITIES SUPERINTENDENT (559) 585-2564

5/10/18
DATE



City of Hanford

Department of Public Works

900 South 10th Ave. • Hanford, CA 93230-5234 • (559) 585-2550

Engineering Division Comments

PROJECT: SPR# 18-09 – Vet Office – 12191 Lacey Boulevard

General Requirements:

1. That the development shall comply with all applicable City of Hanford Standard and Specification requirements. Any deviation from said Standards and Specifications must be approved by the City Engineer prior to construction.
2. That an Encroachment Permit for all work located within the public street right-of-way shall be obtained from the Public Works Department prior to start of work. For additional information regarding Encroachment Permit requirements, contact the City Engineering Division at (559) 585-2558.
3. That the development is subject to a **\$5,700.00** Grading Plan Review fee in accordance with City Resolution No. 10-31 R, or any revisions thereof.
4. That the development is subject to Engineering Plan Review and Inspection fee based on the cost of improvements required to be constructed within the public street right of way, in accordance with City Resolution No. 92-58-R, or any revisions thereof. Subject fees shall be payable prior to approval of improvement plans.
5. That all financial and other arrangements for planning, engineering, scheduling, installation of and/or relocation/ undergrounding of electric, gas, telecommunications, or other privately owned utilities are the sole responsibility of the developer. The developer is advised that significant project delays may result if utility issues are not resolved prior to start of construction.
6. That existing utility pole and appurtenances located along the development frontage of Lacey Boulevard shall be installed underground at developer's expense.

Map and Plan Requirements:

1. That the developer shall submit to the City Engineer a set of construction plans on 24" X 36" size sheets for all required improvements. The plans shall be prepared by a licensed civil engineer, and shall include a site plan showing all on-site and off-site improvements, including but not limited to, sanitary sewer, storm drainage, and water system infrastructure, refuse enclosure locations, public street & parking lot improvements, landscape & irrigation systems and all other improvements as required by the project conditions of approval and the City of Hanford Standards and Specifications. Plans must be approved by the City of Hanford and any other affected agencies before issuance of building permits.
2. That prior to beginning any construction, or within twenty (20) calendar days after the approved plans are released by the City, the developer shall submit to the City of Hanford Engineering Division four (4) bond copies of the approved set of construction plans, and two (2) bound sets of the approved construction specifications, if any.

Joshua Tullsen
Assistant Engineer (559) 585-2582

5/10/18
DATE

Attachment: Resolution No. 2018-21 (CUP 2018-11) (CUP 2018-11 Veterinary Office)



City of Hanford

Department of Public Works

900 South 10th Ave. • Hanford, CA 93230-5234 • (559) 585-2550

3. That within twenty (20) calendar days after all improvements have been constructed and accepted by the City, the developer shall submit to the City of Hanford Engineering Division one (1) reproducible and one (1) bond copy of the approved set of improvement construction plans revised to reflect all field revisions and marked "RECORD DRAWING".

Drainage Requirements:

1. That the developer shall comply with all applicable State of California requirements pursuant to the National Pollutant Discharge Elimination System (NPDES). If applicable to the project, a Notice of Intent for the development shall be electronically filed by the developer and accepted by the State Water Resource Control Board (SWRCB) prior to any disturbance of soils onsite. Documentation of SWRCB approval of the development shall be required by the City of Hanford prior to start of construction, and the developer shall comply with all SWRCB General Construction Permit requirements during construction. Contact the SWRCB at www.swrcb.ca.gov for further information.
2. That track-out of soil, gravel, or other construction-related materials on to public streets is prohibited.
3. That a drainage/site improvement plan for development be prepared by a license civil engineer for review and approval by the Public Works Department prior to the issuance of building permits. All construction shall be certified by a civil engineer as being constructed to approved plan.
4. That site grading and drainage shall comply with the approved grading and improvement plans for the development. Upon completion of construction, the developer's engineer shall provide a written statement that site grading and drainage has been completed in accordance with approved plans.

Street Right-of-Way Dedication & Easement Requirements:

1. That the applicant shall dedicate to city 15 feet of additional street right-of-way along Lacey Boulevard to facilitate an overall street half width of 55 feet. Applicant shall be responsible for preparation of subject right-of-way dedication document.
2. That the developer shall coordinate utility work with local utility companies and dedicate the necessary easements to accommodate their infrastructure.

Curb, Gutter, and Sidewalk Requirements:

1. That a 30" curb and gutter be constructed 42 feet from the street centerline in conformance with city standards (Lacey Boulevard).
2. That a 7- ½ foot wide sidewalk be constructed adjacent to the curb to city standards (Lacey Boulevard).

Joshua Tullsen
Assistant Engineer (559) 585-2582

5/10/18
DATE

Attachment: Resolution No. 2018-21 (CUP 2018-11) (CUP 2018-11 Veterinary Office)



City of Hanford

Department of Public Works

900 South 10th Ave. • Hanford, CA 93230-5234 • (559) 585-2550

3. New streetlights shall be constructed along the Lacey Boulevard project frontage in conformance with City Standard GE-56 (16000 Lumen or LED equivalent).
4. That handicap access ramps be constructed at all drive entrances as shown on the site plan to City Standards.

Drive Approach Requirements:

1. That the drive approaches located as shown on the approved Site Plan shall be constructed in conformance with City Std. CO-41.

Parking Lot Requirements:

1. That the design and construction of the parking lot improvements shall conform to City Standards GE-29 and GE-32.

Streets:

1. That LACEY Boulevard be fully constructed along the frontage of this development and to the west side of Centennial Drive in conformance with City Standard ST-18. Improvements include curb and gutter, street structural section, and sidewalk.

DEVELOPMENT IMPACT FEES:

Joshua Tullsen
Assistant Engineer (559) 585-2582

5/10/18
DATE



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900 South 10th Ave. • Hanford, CA 93230-5234 • (559) 585-2550

1. That development is subject to the following impact fees in accordance with city ordinances no. 90-09, 90-10 and 98-14, or any revisions thereof. Impact fee calculations are based upon square footage of structures as shown on site plan. Square footage of existing buildings has been credited. If changes are made to structure thereby increasing or decreasing structure floor areas, then impact fees will likewise change to reflect actual field conditions. Fees listed below reflect rates effective January 1, 2018. All fees are payable prior to issuance of building permits. **(Building area: 10740 sf – Commercial – Site Area: 1.12 Acres)**
 - A. That the development is subject to a **\$82,071.07 Transportation Impact Mitigation Fee** in accordance with City Resolution No. 98-56-R, or any revisions thereof.
 - B. That the development is subject to a **\$7,958.41 Water System Impact Fee** in accordance with City Resolution No. 98-54-R or any revisions thereof.
 - C. That the development is subject to a **\$8,724.08 Wastewater System Impact Fee** in accordance with City Resolution No. 98-55-R or any revisions thereof.
 - D. That the development is subject to a **\$11,809.33 Storm Water System Impact Fee** in accordance with City Resolution No. 98-57-R, or any revisions thereof.
 - E. That the development is subject to a **\$3,841.40 Fire Protection Impact Fee** in accordance with City Resolution No. 98-52-R or any revisions thereof.
 - F. That the development is subject to a **\$2,419.96 Police Protection Impact Fee** in accordance with City Resolution No. 98-53-R or any revisions thereof.
 - G. That the development is subject to a **\$2,264.32 Refuse and Recycling Impact Fee** in accordance with City Resolution No. 98-53-R or any revisions thereof.
 - H. That the development is subject to a **\$1,074.08 12th Avenue Sanitary Sewer Area of Benefit Fee** in accordance with City Resolution No. 92-25-R or any revisions thereof.

Attachment: Resolution No. 2018-21 (CUP 2018-11) (CUP 2018-11 Veterinary Office)

Joshua Tullisen
Assistant Engineer (559) 585-2582

5/10/18
DATE



City of Hanford

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Refuse Division Comments

PROJECT: SPR# 18-09 – Vet Office – 12191 Lacey Boulevard

General Requirements:

1. That a 10' x 20' inside clear dimension masonry block refuse enclosure with 6' high perimeter walls shall be constructed in accordance with City Std. GE-35, modified to include installation of 12" x 12" interior concrete curbs. A minimum 6" thick/ 10 ft. wide concrete roll-out apron shall be constructed across the entire frontage of the enclosure. If enclosure will be used to service restaurants then a separate grease bin container area shall be constructed in accordance with City standard GE- 41. The refuse enclosure shall have gates of chain-link fencing with earth-tone color vinyl slats or other approved gate materials. The enclosure shall be architecturally compatible with surrounding buildings, and the location of the enclosure shall be approved by both the Public Works and Community Development Departments.
2. That nothing other than the city refuse bins shall be stored or kept in refuse enclosures.
3. That refuse enclosure gates shall be securely closed except when in use.
4. That refuse enclosures shall not be located adjacent to combustible construction or beneath windows or non-protected eaves.
5. That the applicant shall participate in all available waste recycling & reuse programs including the new requirement for food waste separate bin service.

Attachment: Resolution No. 2018-21 (CUP 2018-11) (CUP 2018-11 Veterinary Office)

Jason Ridgeway
REFUSE SUPERINTENDENT (559) 585-2569

5/10/18
DATE



City of HANFORD

CALIFORNIA 93230
CITY OFFICES 317 NORTH DOUTY STREET



MAYOR
DAVID G. AYERS
VICE-MAYOR
SUE SORENSEN
COUNCIL MEMBERS
MARTIN DEVINE
DIANE SHARP
JUSTIN MENDES
CITY MANAGER
DARREL L. PYLE
CITY ATTORNEY
ROBERT M. DOWD

DATE: May 10, 2018

PROJECT: Site Plan Review 2018-09

APPLICANT: Balwinder Singh

LOCATION: 12191 Lacey Boulevard

PROPOSAL: Veterinary Office and leasable retail space

ZONING: C-R Regional Commercial

SITE PLAN REVIEW COMMITTEE REVIEW DATE: February 21, 2018; April 25, 2018

Enclosed for your review are the comments and decisions of the Site Plan Review Committee. Please review all comments, since they may impact your project:

- ☐ **RESUBMIT:** Major changes to your plans are required. Prior to accepting construction drawings for a building permit. Your project must return to the Site Plan Review Committee for review of the revised plans.
- ☐ **MEETING REQUIRED:** During site plan review, concerns were identified, schedule a meeting with the following prior to resubmittal:
- | | |
|--------------------------------------|---|
| ☐ Planning | ☐ Building |
| ☐ Fire | ☐ Engineering |
| ☐ Solid Waste | ☐ Police |
| ☐ Wastewater | ☐ Parks and Recreation |

☒ **REVISE AND PROCEED**

- ☒ Approved subject to the following and the attached conditions of approval.
☒ Submit plans for a building permit between the hours of 8:00 a.m. and 4:00 p.m.
☒ Your Plans must be reviewed by:

- | | |
|---|---|
| ☐ City Council | ☒ Planning Commission CUP-Vet. Office |
| ☐ Parking and Traffic Commission | ☐ Parks and Recreation Commission |
| ☐ Other: _____ | |

Signed,

Gabrielle de Silva

Gabrielle de Silva, Associate Planner
Community Development Department

May 10, 2018
DATE

EXPIRATION

A site plan approval shall expire one (1) year from its approval date, unless a building permit application has been submitted or the use has commenced. Prior to expiration, the Community Development Director may extend the permit expiration date by one (1) year if there is substantial evidence that the applicant is diligently pursuing building permit approval or commencement of the use (Hanford Municipal Code Section 17.72.070).

CALIFORNIA ENVIRONMENTAL QUALITY ACT

Site Plan Review is a ministerial action, therefore not subject to the California Environmental Quality Act (CEQA) (CEQA Guidelines 15268 and MC 17.70.070).

COMMENTS AND CONDITIONS OF APPROVAL

THE FOLLOWING DEPARTMENT COMMENTS AND CONDITIONS ARE ATTACHED:

- ☒ ADMINISTRATION
- ☒ PLANNING
- ☒ BUILDING
- ☒ ENGINEERING
- ☒ SOLID WASTE
- ☒ WASTEWATER
- ☐ POLICE
- ☒ FIRE
- ☐ PARKS AND RECREATION

DEFENSE AND INDEMNIFICATION PROVISION

That the applicant shall defend, indemnify, and hold harmless the City of Hanford ("City"), its officials, officers, employees, representatives, agents and attorneys, from and against all claims, damages, losses, judgments, liabilities, expenses and other costs, including litigation costs and attorney's fees, arising out of, resulting from, or in connection with, the City's act or acts leading up to and including approval of any environmental document and/or granting of any approvals relating to the Project. Applicant's obligation to defend, indemnify and hold the City harmless specifically includes, but is not limited to, any suit or challenge by any third party against the City which challenges or seeks to set aside, void or annul the legality or adequacy of any environmental document approved by the City or any approval related to the Project

APPLICANT'S STATEMENT (Must be signed prior to issuance of a building permit)

I have reviewed a copy of the Site Plan Review Approval No. 2018-09 and I understand that the proposed construction and/or land use is dependent upon the fulfillment of the conditions of approval and construction of all required public improvements prior to use, inauguration or occupancy, unless other arrangements are approved.

Applicant or Authorized Representative

PLANNING DIVISION

Contact Associate Planner Gabrielle de Silva: (559) 585-2578
concerning questions that you may have on the conditions listed below:

C-R Regional Commercial Checklist: (all checked shall apply)

Special Conditions:

1. That the project is subject to a conditional use permit, in order to relocate the veterinary office, as discussed.
2. That a parcel map waiver is required in order to merge the parcels and allow cross access and joint parking.
3. That the entire parking lot and access driveways be developed in phase one.

General:

- ☒ That approval of this project does not exempt compliance with all applicable sections of the Zoning Ordinance, Public Works Improvement Standards, fees, or other City Ordinances.
- ☒ That all approved proposals of the applicant be conditions of development, if not mentioned herein.
- ☒ That the site be developed according to the approved site plan, titled Site Plan Review No. 2018-09 with minor modifications to be approved by the Community Development Department.
- ☒ That no expansion of the use which would tend to increase the projected scale of operations beyond the scope and nature described in this Site Plan Review shall be permitted except upon application for, and approval of, modification of this application according to all procedures and requirements thereof.

Special Requirement:

- ☒ That a parcel map waiver be recorded prior to the final building inspection, in order to merge the three parcels.

Cultural Resources:

- ☒ That if cultural resources are discovered during construction or related activities, all work shall be halted and a qualified archeologist and the City of Hanford shall be notified. The find shall be properly investigated and appropriate measures are to be taken before construction may continue.

Building Setback Areas (17.18.060)

- ☒ That the appropriate setbacks be maintained, as follows:
 - ☒ The front building setback area shall be 15 feet along Lacey Boulevard.

- ☒ The rear building setback may be zero.
- ☒ The side building setback may be zero.
- ☐ The street side building setback shall be 15 feet.

Off Street Parking: (Section 17.54).

- ☒ That the applicant shall provide 44 parking stalls, two of which are ADA-accessible, as shown on the approved Site Plan Review. A minimum of 38 parking stalls are required, as per the Hanford Municipal Code Section 17.54.040 for integrated, which requires, "Integrated shopping centers: one space per 350 square feet."

Calculation: 13,704 sq. ft. ÷ 350 sq. ft. = 39 parking stalls (minimum)

- ☒ That the standard parking space shall not be less than 18.5 feet in length and nine feet in width, exclusive of aisles and access drives (Section 17.54.110 A).
- ☒ That the maximum number of compact-car parking spaces is limited to 30 percent of the total parking spaces required. A compact parking space shall not be less than 16 feet in length and 8 feet in width, and marked for compact cars (Section 17.54.110 B. and C).
- ☒ There shall be no more than four compact spaces adjacent to each other.
- ☒ That parking for bicycles and low-emission vehicles shall be provided in accordance with the latest adopted version of the California Building Code (Section 17.54.190).
- ☒ In the commercial zone district, not less than five percent of the interior square footage of a parking area shall be landscaped with trees and other plant materials suitable for ornamentation. **Parking areas are to have one tree placed at every four lineal parking stalls.**

Signage: (Section 17.56).

- ☒ That any/all signs proposed for this development shall be subject to the requirements and prescribed in Chapter 17.56 of the Hanford Municipal Code. A separate application is required.

Fencing and Walls: (Section 17.18.130)

- ☒ That no fence or wall shall be placed in front of or within any landscaped area located next to a street.
- ☒ That the open storage of materials and equipment attendant to a use shall be permitted only within an area surrounded or screened by a solid wall or fence seven feet minimum in height.
 - ☒ Along a rear lot line not exceeding seven feet in height
 - ☒ Along an interior side lot line not exceeding seven feet in height beginning at 10 feet from the front lot line.

- ☒ That any proposed fencing on the site be maintained in good repair.
- ☒ That no fence or wall shall be placed within the public right-of-way.
- ☒ That a masonry fence exceeding three (3) feet in height shall require engineered footings and a building permit. All other fencing exceeding seven (7) feet in height shall require engineered post footings and a building permit.
- ☒ That no hedge, shrub, fence, or wall exceeding the three (3) feet in height, or four (4) feet in height if the upper one (1) foot is fifty (50) percent or more open shall be planted, placed, or maintained within the twenty-five (25) feet corner sight triangle of a corner lot, or along a front or street side property line where the hedge, shrub, fence, or wall creates a traffic or pedestrian hazard as determined by the Community Development Director.

Landscaping: (Section 17.18.120 and 17.52).

- ☒ Landscaping shall be provided and permanently maintained in a setback area not less than 15 feet from a lot line adjoining a street.
- ☒ General Design Standards: the following features shall be incorporated into the design of the proposed landscape and shown on the required landscape plans:
 - ☒ Publicly maintained landscape areas shall be separated from privately maintained landscape areas with, at a minimum, a four (4) inch wide concrete mow strip.
 - ☒ Pedestrian access to sidewalks and structures shall be integrated with the design of landscaped areas.
 - ☒ Landscape adjacent to driveways and parking areas shall be protected from vehicle damage through the provision of a minimum six (6) inch high and six (6) inch wide concrete curb.
 - ☒ Concrete mow strips, when used, shall be a minimum of four (4) inches in width.
 - ☒ Trees and shrubs shall be planted so that at maturity they do not interfere with utility lines and traffic safety sight areas.
 - ☒ Trees and shrubs shall be planted and maintained in a manner that protects the basic rights of adjacent property owners, particularly the right to solar access.
 - ☒ Trees planted within five (5) feet of sidewalks or curbs shall have an eighteen (18) inch by ten (10) foot long linear root barrier placed at each edge of the sidewalk or face of curb, centered on the tree.
- ☒ Plant materials. Plant materials shall be selected and installed in accordance with the following requirements:
 - ☒ The size of ten (10) percent of the trees to be planted shall be twenty-four (24) inch box or larger. The remaining trees shall be sized fifteen (15) gallons or larger.

- ☒ The size of seventy (70) percent of plants and shrubs shall be at five (5) gallon or larger. The remaining plants and shrubs shall be sized one (1) gallon or larger.
- ☒ The size of groundcover at planting shall be one (1) gallon or larger.
- ☒ Groundcover shall be designed to have one hundred (100) percent coverage within two (2) years.
- ☒ Drought tolerant plant material and climate appropriate species shall be emphasized in the design.
- ☒ That the landscaped area shall be planted with live and healthy plant materials suitable for screening/or ornamenting the site. Landscaped areas shall be watered by automatic systems and designed and developed in accordance with Chapter 12.08 and the most recent State Model Water Efficient Landscaped Ordinance.
- ☒ That no fence, hedge, or shrub shall be installed, planted, or maintained along a street frontage, which creates a traffic or pedestrian hazard.

Outdoor Lighting Standards (Section 17.50.140)

- ☒ That all lights and light fixtures, except public street lights, shall be located, aimed or shielded so as to minimize light trespassing across property boundaries or skyward.
- ☒ That building mounted lighting fixtures shall be attached only to the walls of the building. The top of a light fixture attached to a building wall shall not be higher than the top of the building parapet or the top of the roof eave, whichever is lower.
- ☒ That the canopy ceiling light fixtures shall be recessed or the sides of the lens area shall be shielded, in order to eliminate emission of horizontal light.
- ☒ That the height of freestanding light fixtures, including freestanding parking lot fixtures, shall be measured from the top of a light fixture to the adjacent grade at the base of the support for that light fixture and shall not exceed 50 feet.

Dust Control:

- ☒ That the appropriate dust-control practices of the San Joaquin Valley Air Pollution Control District shall be implemented.
- ☒ That the any necessary permits be obtained through the San Joaquin Valley Air Pollution Control District.

BUILDING DIVISION
SPR 2018-009(502-1003) Veterinary Building
4-25-18
W Lacey Blvd

Contact Building Official: Tom Webb (559) 585-2584
 Concerning questions that you may have on the conditions listed below:

1. That building permits must be obtained from the City Building Division for each structure to include but not limited to: buildings, pools, fences, trash enclosures, signs and carports for any structural, plumbing, electrical or mechanical work being done.
2. That no building or structure shall be used or occupied, and no change in the existing occupancy classification of building or structure or portion thereof shall be made until the building official has approved the change and issued a Certificate of Occupancy.
3. That detailed dimensioned plans be provided to the Building Division for each structure prior to obtaining construction permits. Each structure will require a separate submittal and permit.
4. That each structure will require plans and calculations signed by an architect or engineer licensed to practice in the State of California. Submittal shall consist of as applicable:
 - 4.1 1 copy of the City of Hanford Permit Application form
 - 4.2 6 complete sets of Drawings, unless noted, including:
 - 4.2.1 Grading Plan (Civil Drawings, for reference)
 - 4.2.2 Site Plan
 - 4.2.3 Architectural Drawings
 - 4.2.4 Structural Drawings
 - 4.2.5 Electrical Drawings
 - 4.2.6 Mechanical Drawings
 - 4.2.7 Plumbing Drawings
 - 4.2.8 Landscape Plan (for reference)
 - 4.2.9 Planning Dept. "Conditions of Approval" or "Resolution" printed on the drawings and part of the drawing submittal
 - 4.2.10 A minimum of 2 sets shall be stamped and wet signed by an Architect or Engineer licensed in the State of California.

****** Each structure will be considered a separate submittal. Grading, Landscaping, Signage and all Fire permits are separate submittals as well and require separate applications and submittals as applicable.******

- 4.3 2 complete sets of documentation, unless noted, including:
 - 4.3.1 Architectural Specifications
 - 4.3.2 Structural Calculations
 - 4.3.3 Electrical Calculations, if not included on the drawings
 - 4.3.4 Mechanical Calculations, if not included on the drawings
 - 4.3.5 Plumbing Calculations, if not included on the drawings
 - 4.3.6 Energy Calculations, if not included on the drawings
 - 4.3.7 CalGreen Compliance, if not included on plans
 - 4.3.8 **Compliance with the City of Hanford Landscape Ordinance**
 - 4.3.9 A minimum of 2 sets shall be stamped and wet signed by an Architect or Engineer licensed in the State of California.
5. That the site, as well as the buildings, shall be made accessible and usable by the disabled in accordance with the California Building Code, Chapter 11B.

6. That a school impact fee of \$0.56 (or revision thereof) for each square foot of new building area be paid when building permits are issued.
7. That all special inspection reports be submitted to the Building Division prior to final inspection.
8. That all construction shall conform to the Most Current Edition (2016) of the California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Fire Code, California Energy Code and CalGreen.
9. That Kings County Impact Fees shall apply at current rates.
10. That the tenant, lessee, and/or owner are responsible for compliance with the Americans with Disabilities Act. By federal law your facility must be made accessible to the highest degree possible.
11. That the applicant provide a complete set of AS-BUILT drawings on CD, in "tif" format, to the Building Division prior to Final Inspection.
12. That block walls and trash enclosures require separate submittals/permits through the Building Dept.
13. That the address will be assigned at time of permit

Hanford Fire Department

Contact Fire Chief Chris Ekk @ 559-585-2545 or cekk@cityofhanfordca.com concerning questions that you may have on the following conditions.

Site Plan Review

Date: February 26, 2018

Project #: 2018-09 File# 502-1003 Lacey Blvd. & 12th Ave. Vet Office and Retail

General Instructions

1. Approval of this project does not exempt compliance with all applicable sections of the City adopted fire codes and local fire ordinances.
2. All fire protection systems must be installed and operational prior to occupying the building.
3. All permits shall be issued and fees paid prior to scheduling inspections with the Fire Department. To schedule appointments for inspections, please email at grocha@cityofhanfordca.com and dbodiroga@cityofhanfordca.com
4. Scope of work shall be clearly stated on all plans submitted for permit.
5. All Deferred Submittals shall be listed on the building plan Title Page. All deferred submittals are required to be submitted within 30-days of building permit issuance.

The following comments are applicable if checked:

1. ☐ No comments.
2. ☒ This project must comply with latest applicable codes.
3. ☒ Project must meet minimum fire flow requirements per the table in Appendix B & C of the 2016 California Fire Code.
4. ☒ If a new fire hydrant flow test is required, contact the fire department for submittal requirements.
5. ☒ Based on the occupancy classification, an automatic sprinkler system is required for this project. **A separate fire department permit is required.** Contact the fire department for submittal process. Without providing additional access to the southern and western side of the building, sprinklers will be required. See Item # 15.
 - ☒ NFPA 13 System per CFC 903.3.1.1
 - ☐ NFPA 13R System per CFC 903.3.1.2 (Group R occupancies)
 - ☐ NFPA 13D System per CFC 903.3.1.3 (one and two-family dwellings, Group R-3, and townhouses)
6. ☒ For automatic sprinkler systems, **a separate permit must be submitted** for the underground system supplying the sprinkler system. Contact the fire department for submittal information.

7. ☒ When a sprinkler system is required with 21 or more sprinkler heads, the system shall be monitored by a Central Station Service. Fire alarm and detection systems required by Chapter 9 of the currently adopted edition of the California Building Code (CBC) and CFC shall be installed per NFPA 72. **A separate fire department permit is required** for fire sprinkler monitoring and/or fire alarm systems required by the latest edition of the CBC. Contact the fire department for submittal process.
8. ☒ A hydrant will be required within 50 feet of the fire department connection.
Knox FDC Plugs, Model #3401, are required on all FDC's. The ordering of Knox Box products can be done directly at www.knoxbox.com or an order form can be obtained from the fire department. FDC should be on the Lacey Blvd side of this project in-line with the fire riser room and a hydrant installed within 50 feet.
9. ☒ When any portion of the facility or building to be protected is more than 400 feet from a hydrant on a fire apparatus access road as measured by an approved route around the exterior of the building, on-site fire hydrants and mains shall be provided where required by the fire code official.
10. ☒ Depending on the location of the existing fire hydrant(s), additional fire hydrants may be required. All hydrants must be in place and accepted by the fire department prior to any combustibles being brought onto the site. Existing hydrants around this project are not acceptable due to their location across Lacey Blvd or greater than 400'.
11. ☐ No additional hydrants are necessary for this project.
12. ☒ Number of additional hydrants necessary for this project: 2 One hydrant for the FDC on the Lacey Blvd. side of the project, and one hydrant in the middle of the project between the existing and the proposed building.
13. ☐ Fire hydrant spacing shall be as follows:
 - a. **Residential development:** one hydrant shall be installed at 500 foot intervals.
 - b. **Commercial development:** one hydrant shall be installed at 300 foot intervals.
 - c. Or as required by Appendix C of the California Fire Code
14. ☒ Fire hydrant protection posts shall be installed at all fire hydrants that are subject to vehicle damage.
15. ☒ Approved fire apparatus access roads shall be provided for every facility, building, or portion of a building constructed or moved onto or with the City of Hanford. It shall extend to within 150 feet of all portions of the facility and all portions on the exterior walls of the first story of the buildings as measured by an approved route around the exterior of the building or facility. There is no access to the southern portion of the new office building and there is no access to the west side of the building, since it is being built on the property line. This does not meet the 150 feet requirement. The fire code official is authorized to increase the

dimension of 150 if the building is equipped throughout with an automated sprinkler system CFC 503.1.1.1.

16. ☐ All dead-end access roads in excess of 150 feet must be provided with an approved turn-around or hammer head complying with City standards.
17. ☐ Existing access roads are sufficient. Access to the southern portion of the building is not sufficient. In order to keep this plan, an automatic sprinkler system will be required.
18. ☒ All access road shall not be less than 20 feet wide and 13 feet 6 inches in height.
19. ☒ Access road turning radius for fire apparatus is as follows: Please confirm radii on the access road through this project.
 - a. 20 feet 1 inch inside turning radius
 - b. 44 feet 6 inch outside radius
20. ☒ Additional access roads may be required per CFC 2016 Section 503.1.2. The fire code official is authorized to require more than one fire apparatus access road based on the potential for impairment of a single road by vehicle congestion, condition of terrain, climatic conditions or other factors that could limit access.
21. ☒ Traffic calming devices shall not be installed onto fire department emergency access roads unless prior approval is obtained from the Hanford Fire Department.
22. ☒ Areas identified as "Fire Lanes" must be identified as such per requirements set forth in the California Vehicle Code Section 22500.1. Identified later in the process.
23. ☒ Temporary or permanent fire department access roads shall be constructed in accordance with City Standards ST-36. All weather access roads shall be in place prior to any combustible construction being brought onto the premises unless approved by the fire department.
24. ☐ Locked gates installed across fire department access roads:
 - a. **Manual gates** with a chain lock require a **Knox Padlock, Model #3770**, to be installed on them; or a **Knox Box, Model 3200 Series**, shall be installed on the exterior of the gate and a key to the lock on the gate must be placed in the Knox Box.
 - b. **Electric gates** shall be equipped with an electric **Knox Key Switch, Model 3502**, at the gate location.
 - c. In case of a loss of power, electrically operated gates shall have a means of back-up power or shall default in the open position for immediate fire department access.

d. At no time shall the width of the fire department access road be reduced below 20-feet wide through or at any gates along the fire departments' emergency access roads due to protruding objects from gate supports, frames, signs, access booths, curbs, etc.

25. ☒ A Knox Box will be required. Keys that open all locked areas will also be required and placed in the Knox Box. The ordering of Knox Box products can be done directly at www.knoxbox.com or an order form can be obtained from the fire department.
26. ☒ All address numbers shall be installed onto the building and shall be visible from the frontage street. The color of the address numbers shall be in a contrasting color to the building.

Size of Address Numbers:

- Downtown area (existing buildings): 4-inch numbers,
- Buildings 20-ft. or less from the street: 6-inch numbers,
- Buildings 21- to 40-ft. from the street: 8 inch numbers,
- Buildings more than 40-ft. from street: 12 inch numbers.

27. ☐ Commercial cooking equipment that produce grease laden vapors shall be provided with a Type I hood. ***A separate permit is required for the Type I hood.*** Contact the fire department for submittal information.
28. ☐ All commercial cooking appliances creating grease laden vapors shall have a K-Class fire extinguisher within 30-feet of cooking appliances in accordance with the most currently adopted edition of the CFC.
29. ☐ ***A separate permit is required*** for all hazardous material and/or flammable and combustible liquids, gases, solids, etc., over the exempt amounts set forth in the latest adopted edition of the California Fire Code.
30. ☐ ***A fuel tank permit is required*** for underground and aboveground gasoline/LPG/Diesel.
31. ☐ Combustible high-piled storage over 12 feet ***requires a separate fire department review and permit.*** Contact the fire department for further information.



City of Hanford

Department of Public Works

900 South 10th Ave. • Hanford, CA 93230-5234 • (559) 585-2550

Utilities Division Comments

PROJECT: SPR# 18-09 – Vet Office – 12191 Lacey Boulevard

General:

1. That all work within the public street right-of-way shall be under the control of a General Engineering Contractor, licensed for that purpose. Contractor shall verify all conditions in the field prior to commencing construction.
2. That locations of existing water, sanitary sewer and storm drain mains in the vicinity of the project site will be marked by Public Works Department staff based upon the city's best available records. Contractor shall provide city with a minimum of 48 hours prior notice when requesting location of existing utilities at (559) 585-2564. The City of Hanford is not a member of Underground Service Alert (U.S.A.).
3. That all sewer and water utility work and materials shall conform to City of Hanford Standards and Specifications, latest edition. All Utility connections located within Lacey Blvd shall be bored.

Water:

1. That the developer shall provide an accurate fixture unit count and size water services in accordance with the requirements of the Uniform Plumbing Code, latest edition.
2. That the developer shall furnish and install any new water service assemblies required for the project including water meters and meter boxes for both domestic and landscape uses. If existing services are utilized, fixture counts to ensure adequate size of service is required. All new services are to come off of Lacey Blvd.
3. That the developer shall furnish and install appropriate cross connection / backflow prevention assemblies for all required water services, including fire service lines.
4. That all backflow prevention assemblies required for the development shall be tested and approved by a certified technician prior to occupancy. Copies of all backflow test results shall be provided to the City of Hanford Utilities Division.
5. It is recommended that developer install a separate irrigation service to reduce the sewage usage bill. Sewage bills are calculated off of domestic water flows.

Sewer:

1. If an existing sanitary sewer lateral is not serviceable, the developer shall furnish and install a minimum four inch diameter sanitary sewer lateral to serve the project site. New sewer

Mike Cosenza
UTILITIES SUPERINTENDENT (559) 585-2564

5/10/18
DATE

Attachment: Attachment 2 - Conditions of Approval SPR 2018-09 (CUP 2018-11 Veterinary Office)



City of Hanford

Department of Public Works

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lateral shall be connected to the sanitary sewer main located within Lacey Blvd and shall be bored.

2. That the developer shall furnish, install and maintain a grease trap assembly on all sewer laterals receiving process water from commercial food preparation facilities, if applicable. Grease trap assemblies shall conform to the requirements of the Uniform Plumbing Code, latest edition, and shall be approved by the City Building Official prior to installation.

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Engineering Division Comments

PROJECT: SPR# 18-09 – Vet Office – 12191 Lacey Boulevard

General Requirements:

1. That the development shall comply with all applicable City of Hanford Standard and Specification requirements. Any deviation from said Standards and Specifications must be approved by the City Engineer prior to construction.
2. That an Encroachment Permit for all work located within the public street right-of-way shall be obtained from the Public Works Department prior to start of work. For additional information regarding Encroachment Permit requirements, contact the City Engineering Division at (559) 585-2558.
3. That the development is subject to a **\$5,700.00** Grading Plan Review fee in accordance with City Resolution No. 10-31 R, or any revisions thereof.
4. That the development is subject to Engineering Plan Review and Inspection fee based on the cost of improvements required to be constructed within the public street right of way, in accordance with City Resolution No. 92-58-R, or any revisions thereof. Subject fees shall be payable prior to approval of improvement plans.
5. That all financial and other arrangements for planning, engineering, scheduling, installation of and/or relocation/ undergrounding of electric, gas, telecommunications, or other privately owned utilities are the sole responsibility of the developer. The developer is advised that significant project delays may result if utility issues are not resolved prior to start of construction.
6. That existing utility pole and appurtenances located along the development frontage of Lacey Boulevard shall be installed underground at developer's expense.

Map and Plan Requirements:

1. That the developer shall submit to the City Engineer a set of construction plans on 24" X 36" size sheets for all required improvements. The plans shall be prepared by a licensed civil engineer, and shall include a site plan showing all on-site and off-site improvements, including but not limited to, sanitary sewer, storm drainage, and water system infrastructure, refuse enclosure locations, public street & parking lot improvements, landscape & irrigation systems and all other improvements as required by the project conditions of approval and the City of Hanford Standards and Specifications. Plans must be approved by the City of Hanford and any other affected agencies before issuance of building permits.
2. That prior to beginning any construction, or within twenty (20) calendar days after the approved plans are released by the City, the developer shall submit to the City of Hanford Engineering Division four (4) bond copies of the approved set of construction plans, and two (2) bound sets of the approved construction specifications, if any.

Joshua Tullsen
Assistant Engineer (559) 585-2582

5/10/18
DATE

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3. That within twenty (20) calendar days after all improvements have been constructed and accepted by the City, the developer shall submit to the City of Hanford Engineering Division one (1) reproducible and one (1) bond copy of the approved set of improvement construction plans revised to reflect all field revisions and marked "RECORD DRAWING".

Drainage Requirements:

1. That the developer shall comply with all applicable State of California requirements pursuant to the National Pollutant Discharge Elimination System (NPDES). If applicable to the project, a Notice of Intent for the development shall be electronically filed by the developer and accepted by the State Water Resource Control Board (SWRCB) prior to any disturbance of soils onsite. Documentation of SWRCB approval of the development shall be required by the City of Hanford prior to start of construction, and the developer shall comply with all SWRCB General Construction Permit requirements during construction. Contact the SWRCB at www.swrcb.ca.gov for further information.
2. That track-out of soil, gravel, or other construction-related materials on to public streets is prohibited.
3. That a drainage/site improvement plan for development be prepared by a license civil engineer for review and approval by the Public Works Department prior to the issuance of building permits. All construction shall be certified by a civil engineer as being constructed to approved plan.
4. That site grading and drainage shall comply with the approved grading and improvement plans for the development. Upon completion of construction, the developer's engineer shall provide a written statement that site grading and drainage has been completed in accordance with approved plans.

Street Right-of-Way Dedication & Easement Requirements:

1. That the applicant shall dedicate to city 15 feet of additional street right-of-way along Lacey Boulevard to facilitate an overall street half width of 55 feet. Applicant shall be responsible for preparation of subject right-of-way dedication document.
2. That the developer shall coordinate utility work with local utility companies and dedicate the necessary easements to accommodate their infrastructure.

Curb, Gutter, and Sidewalk Requirements:

1. That a 30" curb and gutter be constructed 42 feet from the street centerline in conformance with city standards (Lacey Boulevard).
2. That a 7- ½ foot wide sidewalk be constructed adjacent to the curb to city standards (Lacey Boulevard).

Joshua Tullsen
Assistant Engineer (559) 585-2582

5/10/18
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Attachment: Attachment 2 - Conditions of Approval SPR 2018-09 (CUP 2018-11 Veterinary Office)



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3. New streetlights shall be constructed along the Lacey Boulevard project frontage in conformance with City Standard GE-56 (16000 Lumen or LED equivalent).
4. That handicap access ramps be constructed at all drive entrances as shown on the site plan to City Standards.

Drive Approach Requirements:

1. That the drive approaches located as shown on the approved Site Plan shall be constructed in conformance with City Std. CO-41.

Parking Lot Requirements:

1. That the design and construction of the parking lot improvements shall conform to City Standards GE-29 and GE-32.

Streets:

1. That LACEY Boulevard be fully constructed along the frontage of this development and to the west side of Centennial Drive in conformance with City Standard ST-18. Improvements include curb and gutter, street structural section, and sidewalk.

DEVELOPMENT IMPACT FEES:

Joshua Tullsen
Assistant Engineer (559) 585-2582

5/10/18
DATE



City of Hanford

Department of Public Works

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1. That development is subject to the following impact fees in accordance with city ordinances no. 90-09, 90-10 and 98-14, or any revisions thereof. Impact fee calculations are based upon square footage of structures as shown on site plan. Square footage of existing buildings has been credited. If changes are made to structure thereby increasing or decreasing structure floor areas, then impact fees will likewise change to reflect actual field conditions. Fees listed below reflect rates effective January 1, 2018. All fees are payable prior to issuance of building permits. **(Building area: 10740 sf – Commercial – Site Area: 1.12 Acres)**
 - A. That the development is subject to a **\$82,071.07 Transportation Impact Mitigation Fee** in accordance with City Resolution No. 98-56-R, or any revisions thereof.
 - B. That the development is subject to a **\$7,958.41 Water System Impact Fee** in accordance with City Resolution No. 98-54-R or any revisions thereof.
 - C. That the development is subject to a **\$8,724.08 Wastewater System Impact Fee** in accordance with City Resolution No. 98-55-R or any revisions thereof.
 - D. That the development is subject to a **\$11,809.33 Storm Water System Impact Fee** in accordance with City Resolution No. 98-57-R, or any revisions thereof.
 - E. That the development is subject to a **\$3,841.40 Fire Protection Impact Fee** in accordance with City Resolution No. 98-52-R or any revisions thereof.
 - F. That the development is subject to a **\$2,419.96 Police Protection Impact Fee** in accordance with City Resolution No. 98-53-R or any revisions thereof.
 - G. That the development is subject to a **\$2,264.32 Refuse and Recycling Impact Fee** in accordance with City Resolution No. 98-53-R or any revisions thereof.
 - H. That the development is subject to a **\$1,074.08 12th Avenue Sanitary Sewer Area of Benefit Fee** in accordance with City Resolution No. 92-25-R or any revisions thereof.

Attachment: Attachment 2 - Conditions of Approval SPR 2018-09 (CUP 2018-11 Veterinary Office)

Joshua Tullsen
Assistant Engineer (559) 585-2582

5/10/18
DATE



City of Hanford

Department of Public Works

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Refuse Division Comments

PROJECT: SPR# 18-09 – Vet Office – 12191 Lacey Boulevard

General Requirements:

1. That a 10' x 20' inside clear dimension masonry block refuse enclosure with 6' high perimeter walls shall be constructed in accordance with City Std. GE-35, modified to include installation of 12" x 12" interior concrete curbs. A minimum 6" thick/ 10 ft. wide concrete roll-out apron shall be constructed across the entire frontage of the enclosure. If enclosure will be used to service restaurants then a separate grease bin container area shall be constructed in accordance with City standard GE- 41. The refuse enclosure shall have gates of chain-link fencing with earth-tone color vinyl slats or other approved gate materials. The enclosure shall be architecturally compatible with surrounding buildings, and the location of the enclosure shall be approved by both the Public Works and Community Development Departments.
2. That nothing other than the city refuse bins shall be stored or kept in refuse enclosures.
3. That refuse enclosure gates shall be securely closed except when in use.
4. That refuse enclosures shall not be located adjacent to combustible construction or beneath windows or non-protected eaves.
5. That the applicant shall participate in all available waste recycling & reuse programs **including the new requirement for food waste separate bin service.**

Attachment: Attachment 2 - Conditions of Approval SPR 2018-09 (CUP 2018-11 Veterinary Office)

Jason Ridgeway
REFUSE SUPERINTENDENT (559) 585-2569

5/10/18
DATE

Notice of Exemption**Appendix E**

To: Office of Planning and Research
P.O. Box 3044, Room 212
Sacramento, CA 95812-3044

From: City of Hanford (Planning Division)
317 North Douty Street
Hanford, CA 93230

County Clerk
County of Kings
Kings County Government Center
Hanford, CA 93230

Project Title: Conditional Use Permit No. 2018-11

Project Location – The project is located along West Lacey Boulevard, east of Centennial Drive (APN 011-020-008, -009, and 010).

Project Location – City: Hanford Project Location – County: Kings County

Description of Nature, Purpose and Beneficiaries of Project: Conditional Use Permit No. 2018-11 is a request to relocate an existing veterinary office to a new building within the same vicinity in the C-R Regional Commercial zone district.

Name of Public Agency Approving Project: City of Hanford

Name of Person or Agency Carrying Out Project: Balwinder Singh

Exempt Status: **(check one)**

- ☐ Ministerial (Sec. 21080(b)(1); 152698);
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269 (a));
- ☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
- ☒ Categorical Exemption: State type and section number: Replacement or Reconstruction (15302)
- ☐ Statutory Exemption. State code number:

Reasons why project is exempt:

(a) The project consists of the replacement of a commercial structure with a new structure of substantially the same size, purpose, and capacity.

Lead Agency

Contact Person: Gabrielle de Silva

Area Code/ Telephone: (559) 585-2578

Signature:

Date: September 11, 2018

Title: Associate Planner

☒ Signed by Lead Agency

Date received for filing at OPR:

☐ Signed by Applicant

Attachment: Attachment 3 - Notice of Exemption (CUP 2018-11 Veterinary Office)



AGENDA STAFF REPORT

MEETING DATE: 9/11/2018	AGENDA SECTION: 3
--------------------------------	--------------------------

SUBJECT:

Conditional Use Permit No. 2018-10: is a request to allow a religious institution and associated charter school within an existing building in the O Office zone district. The project is located at 1010 W. Grangeville Boulevard (APN 008-410-055).

See staff report, attached.

FISCAL IMPACT:

ATTACHMENTS:

Staff Report - CUP 2018-10 (New Testament Baptist)
 Resolution No. 2018-22
 Attachment 1 - Operational Statement
 Attachment 2 - Site Plan Review No. 2018-34
 Attachment 3 - SPR 2018-34 Approval Letter
 Attachment 4 - Notice of Exemption

**CITY OF HANFORD PLANNING COMMISSION
STAFF REPORT
Tuesday, September 11, 2018**

PROJECT: **Conditional Use Permit No. 2018-10:** is a request to allow a religious institution and associated charter school within an existing building in the O Office zone district.

LOCATION: The project is located at 1010 W. Grangeville Boulevard (APN 008-410-055).

PLANNER: Gabrielle Myers, Associate Planner

STAFF RECOMMENDATION

Staff recommends that the Planning Commission:

1. Adopt Resolution No. 2018-22, approving Conditional Use Permit No. 2018-10.

RECOMMENDED MOTION

1. I move to adopt Resolution No. 2018-22, approving Conditional Use Permit No. 2018-10.

PROJECT DESCRIPTION

The project is a request, by Pastor Tom King on behalf of New Testament Baptist Church, to allow a religious institution and associated charter school within an existing building. The use of a religious institution and charter school require a conditional use permit in the O Office zone district.

The applicant proposes to have church services at varying times on Sundays, Mondays, and Wednesday, an associated charter school operating during the week from pre-kindergarten through 12th grade, and a school of ministry, which meets one night a week. An operational statement provided by the applicant details the proposed use. The full operational statement is attached as **Attachment 1**. *Note: the use of a pre-school is considered a day-care and is not a permitted use in the O Office zone district. Therefore, the proposal for a day-care has been omitted from the request for a conditional use permit.*

Project Location

The project is located at 1010 W. Grangeville Boulevard, see Figure 1, below. The proposed religious institution and associated charter school will occupy a portion of the former YMCA building.

Figure 1:
Land Use (property outlined in red)



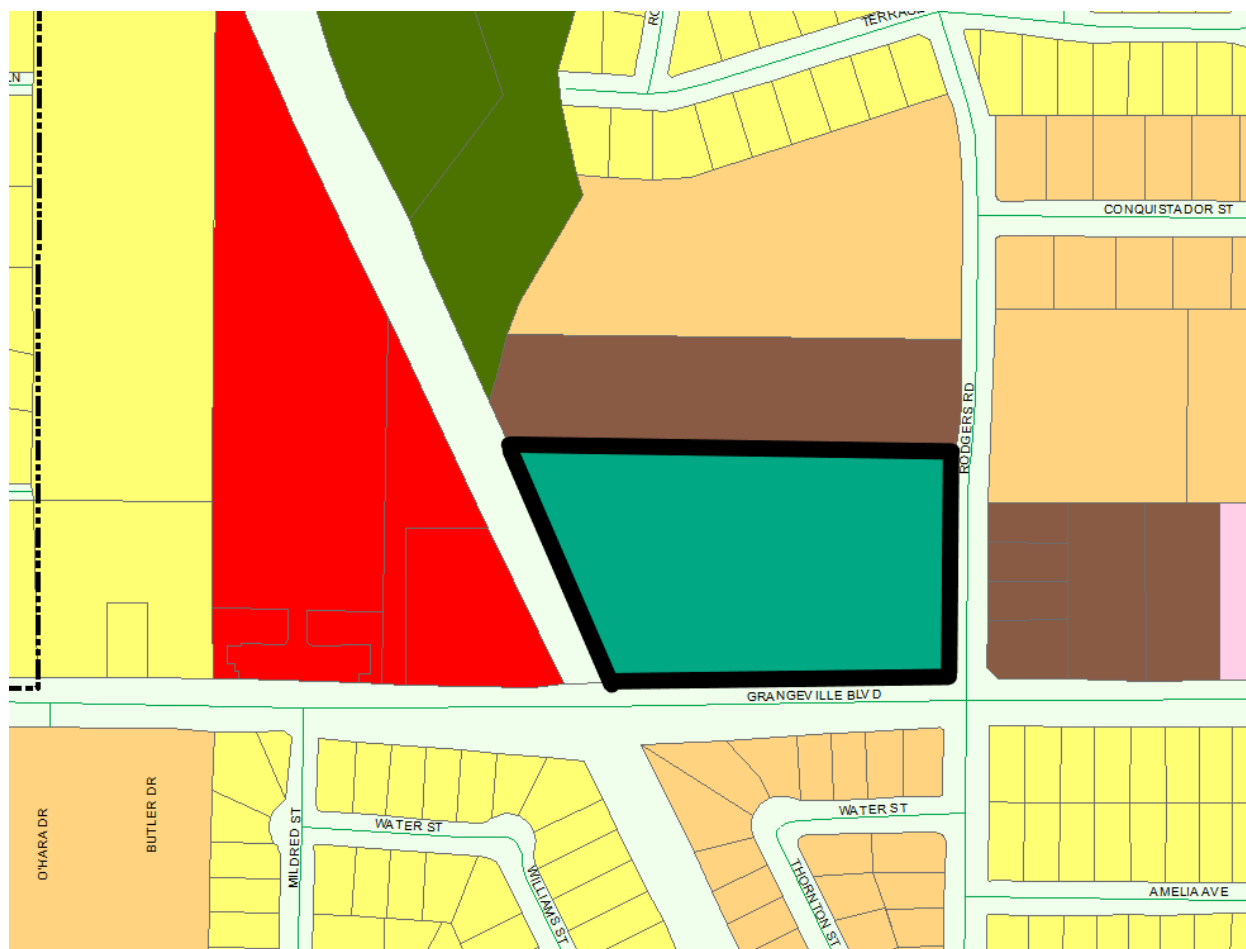
Associated Entitlements

Due to the change in the use of the building, the applicant has submitted Site Plan Review No. 2018-34 for the project, attached as **Attachment 2**. All conditions of approval for the site plan review, cited in the approval letter, **Attachment 3**, are also conditions of approval of this conditional use permit application.

BACKGROUND INFORMATION

The General Plan designates the property as Office. See Figure 2, below. According to the General Plan Policy L74, the purpose of the Office land use designation is to support professional, non-retail businesses, along with medical and health care needs in a large campus-style setting as part of a resilient economic base. In accordance with General Plan Policy L75, the uses allowed in the Office land use designation include professional and medical businesses and institutions found in an office building or campus environment. The use of a religious institution and associated school is consistent with the policies of the General Plan pertaining to the Office designation as it promotes non-retail businesses.

Figure 2:
General Plan Designation (outlined in bold)



Zoning Designation

The property is zoned O Office, which corresponds with the General Plan Designation. See Figure 3, below. The applicant seeks to allow a religious institution with an associated charter school within a portion of an existing building. Both a religious institution and a charter school require a conditional use permit, in accordance with the Commercial, Office, and Industrial Zone Use Table, presented in Table 17.08.030 of the Hanford Municipal Code. See Figure 4, below.

Figure 3 – Zoning Designation (outlined in bold)
O Office

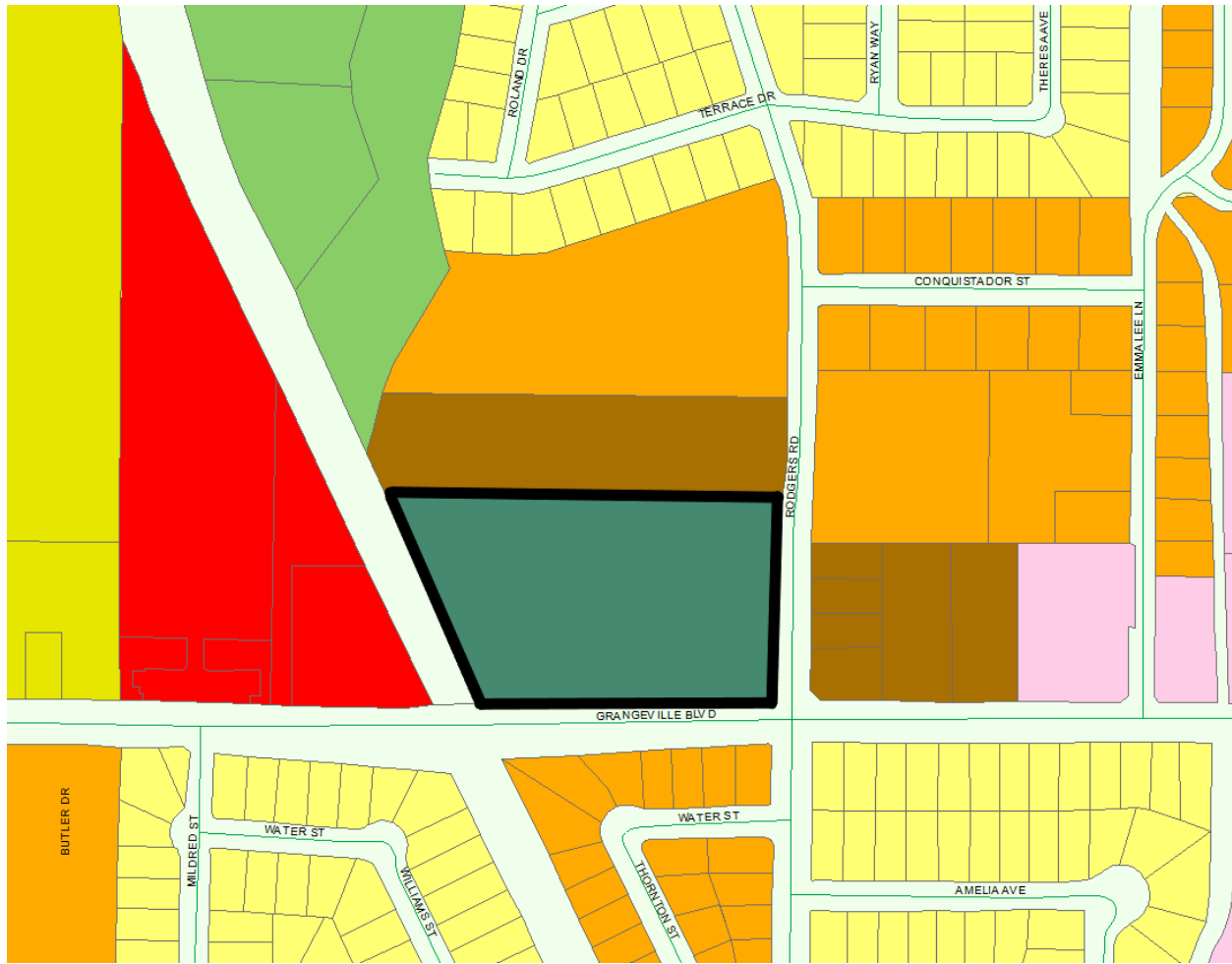


Figure 4
Land Use Table

Land Uses		Commercial Zones				Mixed Use Zones			Industrial and Office Zones				Other Zones			Specific Land Use Standards (See identified Section)
		C-N	C-R	C-S	C-H	MX-N	MX-C	MX-D	O-R	O	I-L	I-H	AP	PF	CO	
C6	Convention or conference center				P		P	P								
C7	Funeral home or mortuary			P			C		P	C						
C8	Library, museum, or cultural facility						P	P								
C9	Pool hall or billiard parlor			C			C									
C10	Religious institution or facility			P			C	C		C	C					
C11	School, private (kindergarten to 12 th grade)													C		
C12	School, public (kindergarten to 12 th grade)													P		
C13	School; charter, trade, vocational, art, business, or professional		C	P			C	C	C	C	C			P		

A “religious institution” means any church, synagogue, mosque, temple, or building that is used primarily for religious worship and related religious activities.

A “school; charter, trade, vocational, business, or professional” means a facility that is operated either with public funds under a charter contract or with private funds, and that offers specific educational instruction to children and/or adults. This use includes charter schools, secretarial schools, beauty and cosmetology schools, modeling schools, language schools, computer or electronics training schools, art schools, and automotive repair schools, and similar specialized schools.

PROJECT EVALUATION

Conformance with the standards of the O Office zone district

17.32.030 Site Area

In the O Office zone district, the minimum site area shall be 20,000 square feet, unless a smaller site is approved with a conditional use permit, in accordance with Chapter 17.80. The project site is 6.1 acres, which exceeds the site area requirement for the O Office zone district.

17.32.040 Lot Dimensions

The minimum lot frontage shall be 60 feet, unless a reciprocal use agreement for shared common access and parking areas is recorded with the Kings County Recorder's office. The project site has approximately 588 feet of street frontage along Grangeville Boulevard and approximately 393 feet of street frontage along Rodgers Road. The minimum street frontage requirement for the O Office zone district is met and exceeded.

17.32.050 Coverage

The maximum coverage of the lot shall be determined by the combined building setback area requirements, open space requirements, and off-street parking and loading requirements. All required building setbacks, landscaping, off-street parking and loading requirements were provided at the time of initial occupancy of the building. The site is fully developed, no expansion of the existing building is proposed in the request for a conditional use permit.

17.32.060 Building Setback Area

No structure is permitted to be placed within a building setback area. In the O Office zone district, the minimum front building setback area shall be 15 feet. On a corner lot, the short side of the lot is considered the front property line; therefore, the front property line is located along Rodgers Road. The front setback is adequately provided on site. In the O Office zone district the rear building setback may be zero feet, since the rear lot line does not abut a public street, an R-L, R-M, R-H, OR, O, PF, AP, or CO zone district. The interior side building setback may also be zero, since the rear lot line does not abut a public street, an R-L, R-M, R-H, OR, O, PF, AP, or CO zone district. The street side building setback along Grangeville Boulevard is required to be 15 feet. The street side building setback is adequately provided on site. All required setbacks are achieved onsite.

17.32.070 Distances Between Structures

The minimum distance between a structure used solely for residential purposes and another structure shall be 10 feet, except as provided by the building code. There are no residential structures on site.

17.32.080 Height of Structures

The maximum height of structures in the O Office zone district shall be 50 feet. The structure does not exceed the height maximum of the District. No building expansion is proposed in the request for a conditional use permit.

17.32.090 Driveways

Whenever possible, developments in the O Office zone district shall share driveways to minimize the number of driveways on public streets. The site is fully developed and has one ingress and egress to the site on Rodgers Road. There are no changes proposed to the existing driveways.

17.32.100 Off-Street Parking

There are 190 parking spaces provided for the site. There is adequate parking provided on the site for the proposed use, based on the required parking ratio for religious institutions and schools. In accordance with Section 17.54.040, religious institutions shall provide parking at a ratio of one space per four seats. The religious institution will have 100 seats at their maximum service. Therefore, a minimum of 25 parking stalls are required for the religious institution.

Calculation:

$$100 \text{ seats} \div 4 = 25 \text{ parking stalls minimum}$$

Private schools (kindergarten to eighth grade) require one space per employee. Private schools (9th to 12th grade) require one space per employee plus one space per 10 students (planned enrollment). According to the operational statement and the Project Review Committee meeting with the applicant, the present enrollment of the school is 13 students and there are two staff members. Enrollment is not planned to grow beyond 40 students (approximately 28 pre-kindergarten through eighth grade; approximately 12 ninth through 12th grade). The parking on site can accommodate the future growth of the school.

Calculation:

$$28 \text{ students (pre-K-8}^{\text{th}}) \text{ and four employees} = 4 \text{ parking stalls minimum}$$

$$12 \text{ students (9}^{\text{th}} - 12^{\text{th}} \text{ grade)} \text{ and three employees} = 4 \text{ parking spaces minimum}$$

Total parking spaces required for uses (religious and charter school) = 33 parking spaces minimum

17.32.110 Usable Open Space

There is no minimum requirement for usable open space in the O Office zone district.

17.32.150 General Provisions and Standards

All uses within O Office zone district are required to be conducted entirely within a completely enclosed permanently fixed structure. The use proposed will occur within an existing, completely enclosed, permanently fixed structure.

FINDINGS FOR APPROVAL

Conditional Use Permit No. 2018-10

In taking action on a Conditional Use Permit, the Planning Commission must make the appropriate findings, in accordance with Section 17.80.030 of the Hanford Municipal Code:

1. The proposed use would not impair the integrity and character of the zoning district in which it is to be located;

ANALYSIS: That the proposed use will occupy an existing building and would not impair the integrity and character of the O Office zone district. The use is consistent with the designation, in that it propose a religious institution and charter school within an existing building, both of which, are permitted with the approval of a conditional use permit in the O Office zone district. The use meets the requirements of the Hanford Municipal Code Section 17.32 O Office zone district. In accordance with the general provisions and standards for the District, the use proposed will occur within an existing, completely enclosed, permanently fixed structure.

2. The proposed use would be compatible with existing land uses and future permitted land uses within the zoning district in which the proposed use is to be located;

ANALYSIS: That the use of a religious institution and associated charter school is compatible with the existing land uses and the future permitted land uses in the O Office zone district. The proposed uses will occupy a portion of an existing building.

3. The proposed use is consistent with the General Plan;

ANALYSIS: That according to the General Plan Policy L74, the purpose of the Office land use designation is to support professional, non-retail businesses, along with medical and health care needs in a large campus-style setting as part of a resilient economic base. In accordance with General Plan Policy L75, the uses allowed in the Office land use designation include professional and medical businesses and institutions found in an office building or campus environment. The use of a religious institution and associated school is consistent with the policies of the General Plan pertaining to the Office designation.

4. There will not be significant effects upon the quality of the environment and natural resources;

ANALYSIS: That this project is categorically exempt from further environmental review, as per Section 15301 Existing Facilities of the California Environmental Quality Act (CEQA) Guidelines. A Notice of Exemption has been prepared and is attached as **Attachment 4**.

5. The proposed location, size, design, and operating characteristics of the proposed use would not be detrimental to the public interests, health, safety, convenience or welfare of the city and that any incompatible impacts of the proposed use are mitigated by conditions of approval.

ANALYSIS: That this application has been reviewed by the various City departments and evaluated for conformity with the requirements of the Hanford Municipal Code Section 17.32 for the O Office zone district. Any improvements or mitigations required for public health, safety, and welfare have been applied to the project as conditions of approval for Site Plan Review No. 2018-34 and Resolution No. 2018-22.

PUBLIC COMMENTS

A Notice of Public Hearing for a Conditional Use Permit was noticed in the Hanford Sentinel on August 31, 2018 and mailed to property owners within 500 feet of the project site on August 30 2018. No comments were received, as of the date of preparation of this report.

ENVIRONMENTAL ASSESSMENT

That this project is categorically exempt from further environmental review, as per Section 15301 Existing Facilities of the California Environmental Quality Act (CEQA) Guidelines. A Notice of Exemption has been prepared and is attached as **Attachment 4**.

RECOMMENDATION

Staff recommends that the Planning Commission:

1. Adopt Resolution No. 2018-22, approving Conditional Use Permit No. 2018-10.

RESOLUTION NO. 2018-22

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HANFORD
PERTAINING TO CONDITIONAL USE PERMIT NO. 2018-10, A REQUEST TO ALLOW A
RELIGIOUS INSTITUTION AND ASSOCIATED CHARTER SCHOOL WITHIN AN EXISTING
BUILDING IN THE O OFFICE ZONE DISTRICT. THE PROJECT IS LOCATED AT 1010 W.
GRANGEVILLE BOULEVARD (APN 008-410-055).**

At a regular meeting of the City of Hanford Planning Commission duly called and held on September 11, 2018, on motion of Commissioner _____, seconded by Commissioner _____, and duly carried, the following resolution was adopted:

WHEREAS, Conditional Use Permit No. 2018-12, a request to allow a religious institution and associated charter school within an existing building in the O office zone district, has been reviewed by the Planning Commission of the City of Hanford in accordance with Title 17.80 of the Hanford Municipal Code; and

WHEREAS, the project is located at 1010 W. Grangeville Boulevard (APN 008-410-055); and

WHEREAS, the site will be developed, as shown in Site Plan Review No. 2018-34, attached as **Exhibit A**; and

WHEREAS, staff, the various governmental departments, and the Planning Commission have given careful consideration to this conditional use permit application and have made recommendations thereon; and

WHEREAS, the project is categorically exempt from further environmental review, as per Section 15301 Existing Facilities of the California Environmental Quality Act (CEQA) Guidelines and a Notice of Exemption has been prepared for the project; and

WHEREAS, the Planning Commission has reviewed the facts and evidence provided in the staff report and the written and oral evidence presented at the public hearing; and

THEREFORE, BE IT RESOLVED that the Planning Commission hereby makes the following findings pursuant to Section 17.80.050 of the Hanford Municipal Code:

1. The proposed use would not impair the integrity and character of the zoning district in which it is to be located;

ANALYSIS: That the proposed use will occupy an existing building and would not impair the integrity and character of the O Office zone district. The use is consistent with the designation, in that it propose a religious institution and charter school within an existing building, both of which, are permitted with the approval of a conditional use permit in the O Office zone district. The use meets the requirements of the Hanford Municipal Code Section 17.32 O Office zone district. In accordance with the general provisions and standards for the District, the use proposed will occur within an existing, completely enclosed, permanently fixed structure.

2. The proposed use would be compatible with existing land uses and future permitted land uses within the zoning district in which the proposed use is to be located;

ANALYSIS: That the use of a religious institution and associated charter school is compatible with the existing land uses and the future permitted land uses in the O Office zone district. The proposed uses will occupy a portion of an existing building.

3. The proposed use is consistent with the General Plan;

ANALYSIS: That according to the General Plan Policy L74, the purpose of the Office land use designation is to support professional, non-retail businesses, along with medical and health care needs in a large campus-style setting as part of a resilient economic base. In accordance with General Plan Policy L75, the uses allowed in the Office land use designation include professional and medical businesses and institutions found in an office building or campus environment. The use of a religious institution and associated school is consistent with the policies of the General Plan pertaining to the Office designation.

4. There will not be significant effects upon the quality of the environment and natural resources;

ANALYSIS: That this project is categorically exempt from further environmental review, as per Section 15301 Existing Facilities of the California Environmental Quality Act (CEQA) Guidelines. A Notice of Exemption has been prepared and is attached as **Attachment 5**.

5. The proposed location, size, design, and operating characteristics of the proposed use would not be detrimental to the public interests, health, safety, convenience or welfare of the city and that any incompatible impacts of the proposed use are mitigated by conditions of approval.

ANALYSIS: That this application has been reviewed by the various City departments and evaluated for conformity with the requirements of the Hanford Municipal Code Section 17.32 for the O Office zone district. Any improvements or mitigations required for public health, safety, and welfare have been applied to the project as conditions of approval for Site Plan Review No. 2018-34 and this resolution.

THEREFORE, BE IT FURTHER RESOLVED that the Planning Commission has determined that Conditional Use Permit No. 2018-10 be approved, subject to the conditions of approval for Site Plan Review No. 2018-34, attached as **Exhibit B**, and the following condition(s):

1. An approved permit shall expire and shall become null and void two (2) years after the date of approval unless, prior to expiration a building permit is issued and construction commenced or the use has commenced.

PASSED AND ADOPTED at a regular meeting of the Hanford City Planning Commission by the following vote:

AYES:
NOES:
ABSTAIN:
ABSENT:

STATE OF CALIFORNIA)
COUNTY OF KINGS) ss
CITY OF HANFORD)

I, **DARLENE R. MATA**, Secretary of the City of Hanford Planning Commission, do hereby certify the foregoing Resolution was duly passed and adopted by the Planning Commission of the City of Hanford at a regular meeting thereof held on the 11th day of September 2018.

Darlene R. Mata, Secretary

Exhibit A
Site Plan No. 2018-34

Attachment: Resolution No. 2018-22 (CUP 2018-10 New Testament Baptist)

SITE PLAN FOR LOT LINE ADJUSTMENT

LOTS 1 & 2 OF TRACT 390 PER L.S.P. 10-33, KNIS COUNTY RECORDS

OWNER/ APPLICANT

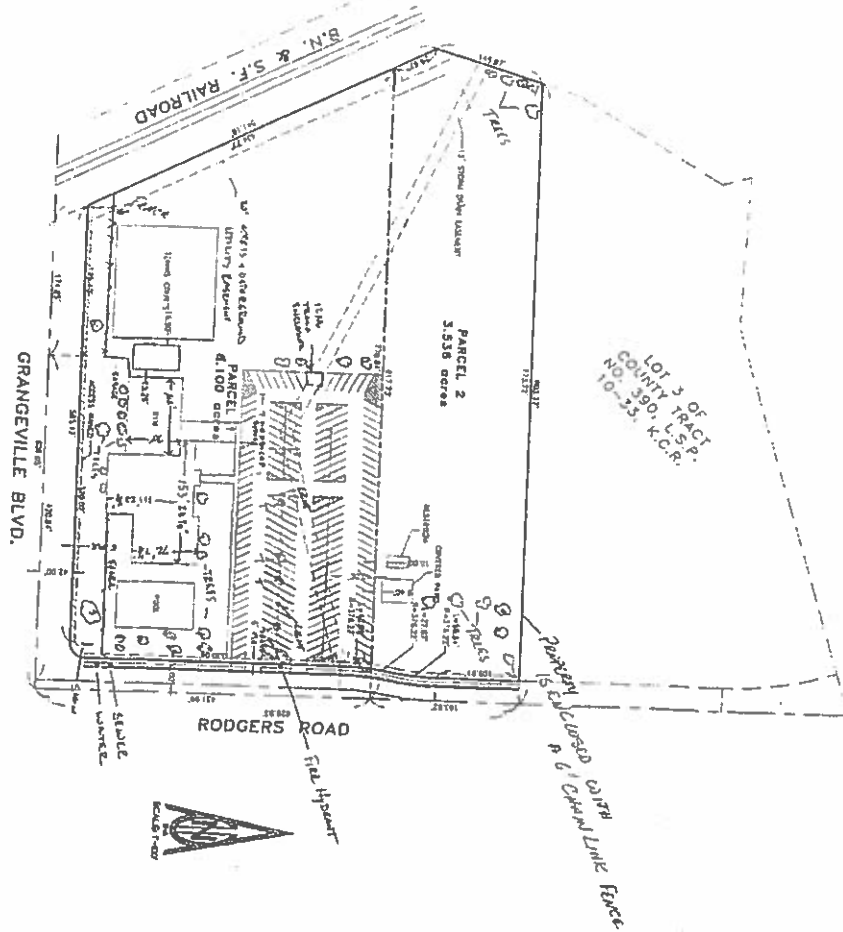
DIA PROPERTIES, INC.
10110 W. GRANGEVILLE BLVD.
HAYWARD CA 94530

GENERAL INFORMATION

EXISTING ZONE	O - OFFICE
PROPOSED ZONE	O - OFFICE
EXISTING USE	O - OFFICE
PROPOSED USE	OFFICE/CLUBHOUSE/RESTAURANT/RETAIL/RECREATION
SEWER	CITY OF HAYWARD
WATER	CITY OF HAYWARD
A.P.N.	008-410-035

VICINITY MAP

NOT TO SCALE



DATE	04/11/18
BY	JCH
CHECKED	JCH
DATE	04/11/18
BY	JCH
CHECKED	JCH
DATE	04/11/18
BY	JCH

CIVIL ENGINEER
**ZUMWALT
HANSEN &
LAND SURVEYORS**

600 N. FAWN STREET
HAYWARD, CA 94530
(510) 562-1058

LOTLINE ADJUSTMENT

for
YMCA

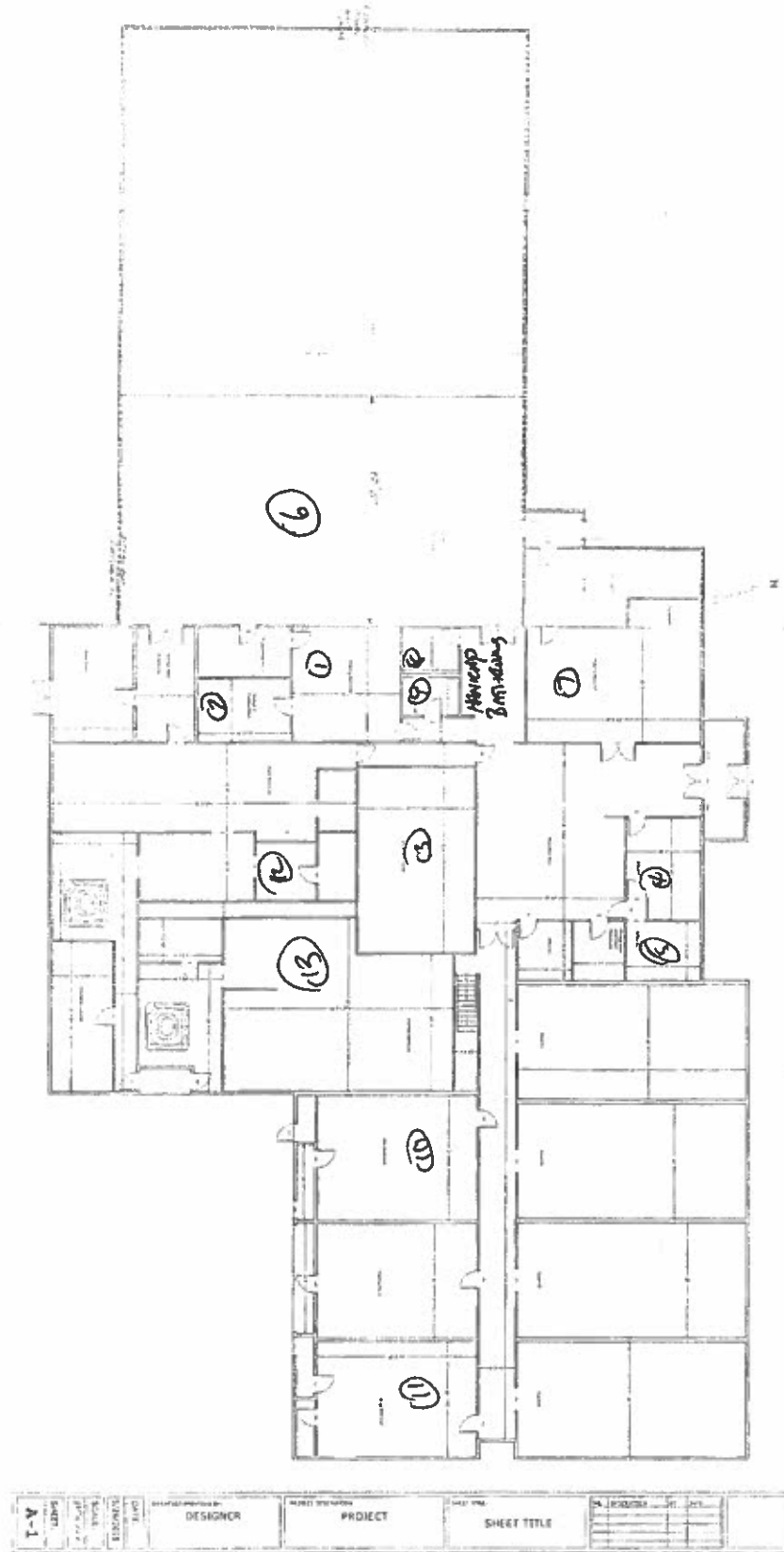


Exhibit B
Site Plan Review No. 2018-34 Conditions of Approval

Attachment: Resolution No. 2018-22 (CUP 2018-10 New Testament Baptist)

City of HANFORD

CALIFORNIA 93230
CITY OFFICES 317 NORTH DOUTY STREET



MAYOR
DAVID G. AYERS
VICEMAYOR
SUE SORESEN
COUNCIL MEMBERS
MARTIN DEVINE
DIANE SHARP
JUSTIN MENDES
CITY MANAGER
DARREL L. PYLE
CITY ATTORNEY
ROBERT M. DOWD

DATE: September 6, 2018

PROJECT: Site Plan Review 2018-34 (502-1028)

APPLICANT: New Testament Baptist Church

LOCATION: 1010 W. Grangeville Boulevard (APN 008-410-055)

PROPOSAL: Allowing a religious institution and associated charter school within an existing building (no building expansion proposed).

ZONING: O Office

SITE PLAN REVIEW COMMITTEE REVIEW DATE: August 8, 2018

Enclosed for your review are the comments and decisions of the Site Plan Review Committee. Please review all comments, since they may impact your project:

- ☐ **RESUBMIT:** Major changes to your plans are required prior to accepting construction drawings for a building permit. A meeting with the Site Plan Review Committee is not required.
- ☐ **MEETING REQUIRED:** During site plan review, concerns were identified, schedule a meeting with the following prior to resubmittal:
- | | |
|--------------------------------------|---|
| ☐ Planning | ☐ Building |
| ☐ Fire | ☐ Engineering |
| ☐ Solid Waste | ☐ Police |
| ☐ Wastewater | ☐ Parks and Recreation |

☒ **REVISE AND PROCEED**

- ☒ Approved subject to the following and the attached conditions of approval.
☒ Submit plans for a building permit between the hours of 8:00 a.m. and 4:00 p.m.
☒ Your Plans must be reviewed by:

- | | |
|---|--|
| ☐ City Council | ☒ Planning Commission CUP required |
| ☐ Parking and Traffic Commission | ☐ Parks and Recreation Commission |
| ☐ Other: _____ | |

Signed,

Gabrielle de Silva

Gabrielle de Silva, Associate Planner
Community Development Department

September 6, 2018
DATE

EXPIRATION

A site plan approval shall expire one (1) year from its approval date, unless a building permit application has been submitted or the use has commenced. Prior to expiration, the Community Development Director may extend the permit expiration date by one (1) year if there is substantial evidence that the applicant is diligently pursuing building permit approval or commencement of the use (Hanford Municipal Code Section 17.72.070).

CALIFORNIA ENVIRONMENTAL QUALITY ACT

Site Plan Review is a ministerial action, therefore not subject to the California Environmental Quality Act (CEQA) (CEQA Guidelines 15268 and MC 17.70.070).

COMMENTS AND CONDITIONS OF APPROVAL

THE FOLLOWING DEPARTMENT COMMENTS AND CONDITIONS ARE ATTACHED:

- ☒ PLANNING
- ☒ BUILDING
- ☐ ENGINEERING
- ☐ SOLID WASTE
- ☐ WASTEWATER
- ☐ POLICE
- ☒ FIRE
- ☐ PARKS AND RECREATION

DEFENSE AND INDEMNIFICATION PROVISION

That the applicant shall defend, indemnify, and hold harmless the City of Hanford ("City"), its officials, officers, employees, representatives, agents and attorneys, from and against all claims, damages, losses, judgments, liabilities, expenses and other costs, including litigation costs and attorney's fees, arising out of, resulting from, or in connection with, the City's act or acts leading up to and including approval of any environmental document and/or granting of any approvals relating to the Project. Applicant's obligation to defend, indemnify and hold the City harmless specifically includes, but is not limited to, any suit or challenge by any third party against the City which challenges or seeks to set aside, void or annul the legality or adequacy of any environmental document approved by the City or any approval related to the Project

APPLICANT'S STATEMENT (Must be signed prior to issuance of a building permit)

I have reviewed a copy of the Site Plan Review Approval No. 2018-34 and I understand that the proposed construction and/or land use is dependent upon the fulfillment of the conditions of approval and construction of all required public improvements prior to use, inauguration or occupancy, unless other arrangements are approved.

Applicant or Authorized Representative

PLANNING DIVISION

Contact Associate Planner Gabrielle de Silva at (559) 585-2578
Concerning questions regarding the comments below:

O Office - all checked comments shall apply:

Corrections:

- The use of a day-care in the O district is not permitted.

General:

- ☒ That approval of this project does not exempt compliance with all applicable sections of the Zoning Ordinance, Public Works Improvement Standards, fees, or other City Ordinances.
- ☒ That all approved proposals of the applicant be conditions of development, if not mentioned herein.
- ☒ That the site be developed according to the approved site plan, titled Site Plan Review No. 2018-34 with minor modifications to be approved by the Community Development Department.
- ☒ That no expansion of the use which would tend to increase the projected scale of operations beyond the scope and nature described in this Site Plan Review shall be permitted except upon application for, and approval of, modification of this application according to all procedures and requirements thereof.
- ☒ That the use of a religious institution and a charter school requires a conditional use permit, in accordance with the Land Use Table presented in Section 17.08 of the Hanford Municipal Code.

Cultural Resources:

- ☒ That if cultural resources are discovered during construction or related activities, all work shall be halted and a qualified archeologist and the City of Hanford shall be notified. The find shall be properly investigated and appropriate measures are to be taken before construction may continue.

Coverage (Section 17.32.050)

- ☒ That the maximum coverage of a lot shall be determined by the combined building setback area requirements, accessory structure limitations, open space requirements, and off-street parking.

Building Setback Area (Section 17.30.060)

- ☒ That no structure shall be placed within a building setback area.
- ☒ The front building setback area shall be 15 feet from the front lot line.

- ☒ That the rear building setback may be zero feet from the rear lot line, except where the rear lot line abuts a public street, an R-L, R-M, R-H, OR, O, PF, AP, or CO zone district, then the rear building setback shall be 15 feet.
- ☒ That the side building setback area shall be zero feet, except where the side lot line abuts a public street or an R-L, R-M, R-H, OR, O, PF, AP, or CO zone district, then the side building setback shall be 15 feet.

Distance between Structures (Section 17.32.070)

- ☒ The minimum distance between structures shall be 10 feet, except as provided by the building code.

Height of Structures (Section 17.32.080)

- ☒ The maximum structure height shall be 50 feet.

Driveways (Section 17.32.090)

- ☒ Wherever possible development shall share driveways to minimize the number of driveways on public streets.
- ☐ New driveways near street corners shall be located a minimum 100 feet from the radius curve of the curb, unless otherwise specifically approved by the City Engineer.
- ☐ Sites with alleys should utilize alley access to minimize driveways on streets to the greatest extent possible.

Other Setback Standards (Section 17.30.130)

- ☒ That mechanical equipment shall be located a minimum of five feet from a side lot line that adjoins a neighboring side lot line.
- ☐ That garages or carports opening onto an alley shall be set back twenty-five feet from the far side of the alley, provided that the structure, including roof overhang, shall not extend into the alley right-of-way.
- ☐ That garages and carports opening onto the street side lot line of a corner lot shall be setback 20 feet from the street side lot line.

Off-Street Parking (Section 17.32.100 and 17.54)

- ☒ That the applicant shall provide a minimum of 33 parking stalls on site, two of which are ADA-accessible, based on the calculations below:

Religious institutions or facility: 1 space per 4 seats:

$$100 \text{ seats} \div 4 \text{ seats} = 25 \text{ stalls required}$$

Private or charter school (kindergarten to 8th grade): 1 space per employee

4 employees = 4 parking spaces

Private or charter school (9th – 12th grade): 1 space per employee plus 1 space per 10 students (planned enrollment)

= approximately 4 (3 staff member and 12 students)

- ☒ That parking areas shall not be closer than five feet to any front or street side lot line. The area between the lot line and parking area shall be landscaped.
- ☒ That new parking areas shall be located behind or to the side of buildings, not between buildings and the street.

Usable Open Space (Section 17.32.110)

- ☒ That there is no minimum requirement for usable open space.

Landscaping (Section 17.30.160 and 17.52) (Landscaping already installed)

- ☒ That landscaping be provided in accordance with Section 17.52 Landscape Standards of the Hanford Municipal Code.
- ☐ That landscaping shall be provided and permanently maintained in a setback area not less than 15 feet from a lot line adjoining a street, except where the setback area is covered by structures, parking, or driveways.
- ☐ General Design Standards: the following features shall be incorporated into the design of the proposed landscape and shown on the required landscape plans:
 - ☐ Publicly maintained landscape areas shall be separated from privately maintained landscape areas with, at a minimum, a four (4) inch wide concrete mow strip.
 - ☐ Pedestrian access to sidewalks and structures shall be integrated with the design of landscaped areas.
 - ☐ Landscape adjacent to driveways and parking areas shall be protected from vehicle damage through the provision of a minimum six (6) inch high and six (6) inch wide concrete curb.
 - ☐ Concrete mow strips, when used, shall be a minimum of four (4) inches in width.
 - ☐ Trees and shrubs shall be planted so that at maturity they do not interfere with utility lines and traffic safety sight areas.
 - ☐ Trees and shrubs shall be planted and maintained in a manner that protects the basic rights of adjacent property owners, particularly the right to solar access.
 - ☐ Trees planted within five (5) feet of sidewalks or curbs shall have an eighteen (18) inch by ten (10) foot long linear root barrier placed at each edge of the sidewalk or face of curb, centered on the tree.

- ☐ Plant materials. Plant materials shall be selected and installed in accordance with the following requirements:
- ☐ The size of ten (10) percent of the trees to be planted shall be twenty-four (24) inch box or larger. The remaining trees shall be sized fifteen (15) gallons or larger.
 - ☐ The size of seventy (70) percent of plants and shrubs shall be at five (5) gallon or larger. The remaining plants and shrubs shall be sized one (1) gallon or larger.
 - ☐ The size of groundcover at planting shall be one (1) gallon or larger.
 - ☐ Groundcover shall be designed to have one hundred (100) percent coverage within two (2) years.
 - ☐ Drought tolerant plant material and climate appropriate species shall be emphasized in the design.
- ☒ That the landscaped area shall be planted with live and healthy plant materials suitable for screening/or ornamenting the site. Landscaped areas shall be watered by automatic systems and designed and developed in accordance with Chapter 12.08 and the most recent State Model Water Efficient Landscaped Ordinance.
- ☒ That no fence, hedge, or shrub shall be installed, planted, or maintained along a street frontage, which creates a traffic or pedestrian hazard.

Noise:

- ☒ That construction equipment is muffled and construction activities be limited to the hours between 7:00 a.m. to 10:00 p.m., Monday through Friday, unless the construction is within the enclosed structure or approved by the Community Development Department.
- ☒ That noise from fixed mechanical equipment, when measured at the property line, meets the standard of the Hanford Noise Element.

Outdoor Lighting Standards (Section 17.50.140)

- ☒ That all lights and light fixtures, except public street lights, shall be located, aimed or shielded so as to minimize light trespassing across property boundaries or skyward.
- ☒ That no lights or light fixtures shall flash, revolve, blink or otherwise resemble a traffic control signal or operate in such a fashion to create a hazard for passing traffic.
- ☒ That building mounted lighting fixtures shall be attached only to the walls of the building. The top of a light fixture attached to a building wall shall not be higher than the top of the building parapet or the top of the roof eave, whichever is lower.
- ☒ That canopy ceiling light fixtures shall be recessed or the sides of the lens area shall be shielded in order to eliminate emission of horizontal light.
- ☒ That mercury vapor lamps shall be a fully shielded fixture with all light directed on-site.

- ☒ That freestanding light fixtures shall not exceed eighteen (18) feet in height measured from the top of a light fixture to the adjacent grade at the base of the support for that light fixture.

Tents, Tarps, and Other Coverings (Section 17.50.130)

- ☒ That no front or side building setback area shall be covered by tents, tarps, cloth, fabric, or a wood or metal covering or structure except for the following:
 - ☒ Standard window and door awnings
 - ☒ Ornamental covers, such as a sidewalk or entry awning trellis, or other similar improvement intended as an improved passageway or for aesthetic purposes providing architectural integrity with the building to which it is attached. Supports shall be ninety (90) percent open and shall not be enclosed.

Dust Control:

- ☒ That the appropriate dust-control practices of the San Joaquin Valley Air Pollution Control District shall be implemented.
- ☒ That the any necessary permits be obtained through the San Joaquin Valley Air Pollution Control District.

BUILDING DIVISION
SPR 2018-034(502-1028) Church/Christian School
9-6-18
1010 W Grangeville

Contact Building Official: Tom Webb (559) 585-2584

Concerning questions that you may have on the conditions listed below:

1. That building permits must be obtained from the City Building Division for each new structure to include but not limited to: buildings, pools, fences, trash enclosures, signs and carports for any structural, plumbing, electrical or mechanical work being done.
2. That no building or structure shall be used or occupied, **and no change in the existing occupancy classification of building or structure or portion thereof shall be made until the building official has approved the change and issued a Certificate of Occupancy.**
3. That detailed dimensioned plans be provided to the Building Division for each structure prior to obtaining construction permits. Each structure will require a separate submittal and permit.
4. That because of the Change of Occupancy from A to E, all of the areas used for the E occupancy must meet accessibility standards.

****** Each structure will be considered a separate submittal. Grading, Landscaping, Signage and all Fire permits are separate submittals as well and require separate applications and submittals as applicable. ******

5. That the site, as well as the buildings, shall be made accessible and usable by the disabled in accordance with the California Building Code, Chapter 11B.
6. That all construction shall conform to the Most Current Edition (2016) of the California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Fire Code, California Energy Code and CalGreen.
7. That the tenant, lessee, and/or owner are responsible for compliance with the Americans with Disabilities Act. By federal law your facility must be made accessible to the highest degree possible.
8. That block walls and trash enclosures require separate submittals/permits through the Building Dept.

Hanford Fire Department

Contact Fire Chief Chris Ekk @ 559-585-2545 or cekk@cityofhanfordca.com concerning questions that you may have on the following conditions.

Site Plan Review

Date: September 4, 2018

Project #: 2018-34 (502-1028) 1010 W. Grangeville Blvd. New Testament Baptist Church

General Instructions

1. Approval of this project does not exempt compliance with all applicable sections of the City adopted fire codes and local fire ordinances.
2. All fire protection systems must be installed and operational prior to occupying the building.
3. All permits shall be issued and fees paid prior to scheduling inspections with the Fire Department. To schedule appointments for inspections, please email at grocha@cityofhanfordca.com and dbodiroga@cityofhanfordca.com
4. Scope of work shall be clearly stated on all plans submitted for permit.
5. All Deferred Submittals shall be listed on the building plan Title Page. All deferred submittals are required to be submitted within 30-days of building permit issuance.

The following comments are applicable if checked:

1. ☐ No comments.
2. ☒ This project must comply with latest applicable codes.
3. ☒ Project must meet minimum fire flow requirements per the table in Appendix B & C of the 2016 California Fire Code.
4. ☒ If a new fire hydrant flow test is required, contact the fire department for submittal requirements.
5. ☐ Based on the occupancy classification, an automatic sprinkler system is required for this project. ***A separate fire department permit is required.*** Contact the fire department for submittal process.
 - ☐ NFPA 13 System per CFC 903.3.1.1
 - ☐ NFPA 13R System per CFC 903.3.1.2 (Group R occupancies)
 - ☐ NFPA 13D System per CFC 903.3.1.3 (one and two-family dwellings, Group R-3, and townhouses)
6. ☐ For automatic sprinkler systems, ***a separate permit must be submitted*** for the underground system supplying the sprinkler system. Contact the fire department for submittal information.

Attachment: Resolution No. 2018-22 (CUP 2018-10 New Testament Baptist)

7. ☐ Fire Riser Room: All new buildings that require an automatic fire sprinkler system shall contain a separate room to house the fire riser and FDC inside of it and shall have the following building elements:
- At least one man door shall be provided - only exterior door(s) are allowed,
 - The fire riser room and the door shall be large enough to accommodate repairs and/or maintenance needed by the use of tools and the removal and/or replacement of parts/pipe to the fire riser or FDC; suggested size 4' x 4' room.
 - One-hour rated construction,
 - Fire sprinkler head coverage required,
 - Normal and emergency back-up lighting shall be installed inside the fire riser room,
 - The exterior of the fire riser door shall have permanent signage stating FIRE RISER ROOM in a contrasting color to background,
 - For existing buildings: please contact the fire department for requirements.
8. ☐ When a sprinkler system is required with 21 or more sprinkler heads, the system shall be monitored by a Central Station Service. Fire alarm and detection systems required by Chapter 9 of the currently adopted edition of the California Building Code (CBC) and CFC shall be installed per NFPA 72. ***A separate fire department permit is required*** for fire sprinkler monitoring and/or fire alarm systems required by the latest edition of the CBC. Contact the fire department for submittal process.
9. ☐ A hydrant will be required within 50 feet of the fire department connection. Knox FDC Plugs, Model #3401, are required on all FDC's. The ordering of Knox Box products can be done directly at www.knoxbox.com or an order form can be obtained from the fire department.
10. ☒ When any portion of the facility or building to be protected is more than 400 feet from a hydrant on a fire apparatus access road as measured by an approved route around the exterior of the building, on-site fire hydrants and mains shall be provided where required by the fire code official.
11. ☒ Depending on the location of the existing fire hydrant(s), additional fire hydrants may be required. All hydrants must be in place and accepted by the fire department prior to any combustibles being brought onto the site.
12. ☐ No additional hydrants are necessary for this project.
13. ☐ Number of additional hydrants necessary for this project:.
14. ☐ Fire hydrant spacing shall be as follows:
- a. **Residential development:** one hydrant shall be installed at 500 foot intervals.
 - b. **Commercial development:** one hydrant shall be installed at 300 foot intervals.
 - c. Or as required by Appendix C of the California Fire Code
15. ☒ Fire hydrant protection posts shall be installed at all fire hydrants that are

subject to vehicle damage.

16. ☒ Approved fire apparatus access roads shall be provided for every facility, building, or portion of a building constructed or moved onto or with the City of Hanford. It shall extend to within 150 feet of all portions of the facility and all portions on the exterior walls of the first story of the buildings as measured by an approved route around the exterior of the building or facility.
17. ☒ All dead-end access roads in excess of 150 feet must be provided with an approved turn-around or hammer head complying with City standards.
18. ☒ Existing access roads are sufficient.
19. ☒ All access road shall not be less than 20 feet wide and 13 feet 6 inches in height.
Ensure adequate access through parking lot.
20. ☒ Access road turning radius for fire apparatus is as follows (show all three on plans):
 - a. 20 feet 1 inch inside turning radius (inside rear wheel)
 - b. 36 feet 3 inch curb to curb (outside front wheel)
 - c. 44 feet 6 inch outside radius (outside front bumper)
 Ensure turning radius requirements are met for all turns throughout the parking lot.
21. ☒ Additional access roads may be required per CFC 2016 Section 503.1.2. The fire code official is authorized to require more than one fire apparatus access road based on the potential for impairment of a single road by vehicle congestion, condition of terrain, climatic conditions or other factors that could limit access.
22. ☒ Traffic calming devices shall not be installed onto fire department emergency access roads unless prior approval is obtained from the Hanford Fire Department.
23. ☒ Areas identified as "Fire Lanes" must be identified as such per requirements set forth in the California Vehicle Code Section 22500.1. Coordinate with the fire department to identify location of fire lanes and markings or signs.
 - a. Access roads 20-26 feet in width. Fire lanes shall be on both sides of the fire apparatus access roads.
 - b. Access roads 26 to less than 32 feet in width: Fire lanes shall be on one side of the fire apparatus access roads.
 - c. Access roads 32 feet in width or more: No fire lanes required.
24. ☐ Temporary or permanent fire department access roads shall be constructed in accordance with City Standards ST-36. All weather access roads shall be in place prior to any combustible construction being brought onto the premises unless approved by the fire department.
24. ☒ Locked gates installed across fire department access roads:

Knox devices on all gated entries.

- a. **Manual gates** with a chain lock require a **Knox Padlock, Model #3770**, to be installed on them; or a **Knox Box, Model 3200 Series**, shall be installed on the exterior of the gate and a key to the lock on the gate must be placed in the Knox Box.
- b. **Electric gates** shall be equipped with an electric **Knox Key Switch, Model 3502**, at the gate location.
- c. In case of a loss of power, electrically operated gates shall have a means of back-up power or shall default in the open position for immediate fire department access.
- d. At no time shall the width of the fire department access road be reduced below **20-feet wide through or at any gates** along the fire departments' emergency access roads due to protruding objects from gate supports, frames, signs, access booths, curbs, etc.

25. ☒ A Knox Box will be required. Keys that open all locked areas will also be required and placed in the Knox Box. The ordering of Knox Box products can be done directly at www.knoxbox.com or an order form can be obtained from the fire department.

26. ☒ Knox Box for building containing the office and fitness center and lounge.
All address numbers shall be installed onto the building and shall be visible from the frontage street. The color of the address numbers shall be in a contrasting color to the building.

Size of Address Numbers:

- | | |
|---|------------------|
| o Downtown area (existing buildings): | 4-inch numbers, |
| o Buildings 20-ft. or less from the street: | 6-inch numbers, |
| o Buildings 21- to 40-ft. from the street: | 8 inch numbers, |
| o Buildings more than 40-ft. from street: | 12 inch numbers. |

27. ☐ Commercial cooking equipment that produce grease laden vapors shall be provided with a Type I hood. ***A separate permit is required for the Type I hood.*** Contact the fire department for submittal information.

28. ☐ All commercial cooking appliances creating grease laden vapors shall have a K-Class fire extinguisher within 30-feet of cooking appliances in accordance with the most currently adopted edition of the CFC.

29. ☐ ***A separate permit is required*** for all hazardous material and/or flammable and combustible liquids, gases, solids, etc., over the exempt amounts set forth in the latest adopted edition of the California Fire Code.

30. ☐ ***A fuel tank permit is required*** for underground and aboveground gasoline/LPG/Diesel.

Project Description/ Use Proposed:

Location: 1010 Grangeville Blvd., Hanford, CA 93230

Church Services times:

Early Worship 8:30 am At present, we are averaging 40-45 in attendance at this service.

Sunday School 10:00 am Our Sunday school is averaging 90 in attendance.

Morning Services 11 am At present, we are averaging 65-75 in attendance at this service.

Sunday Evening 6:30 pm The average attendance for this service is 75-80.

Wednesday Evening 7 pm The average attendance for this service 60-70.

Reformers Unanimous (an addictions program) Fridays 7 pm. At present, we are averaging 20 in attendance for this ministry.

Church Office:

At present, our church staff consists of the pastor and his secretary. They would be on the property at least five days a week.

Christian School:

We also operate a K4-12th grade private Christian school. We presently have 13 students enrolled. We have 2 staff members. As far as traffic is concerned, the staff would be making five trips a week in the mornings to work and then five trips a week home at the end of the day. We estimate that there will be 13 trips made by parents to drop off students in the morning, 1 trip made by parents to pick up kindergarten students at noon, and 13 trips by parents to pick students when school is over each day. As our church grows and we are able to provide more space we will see the enrollment of our school increase.

Pre-School:

We would like to open up a Pre-school at some point in the future. We will make sure that we follow the proper procedures for permits that would allow us to operate a Pre-school.

School of Ministry:

Our School of Ministry is an institution of higher learning that trains people for the ministry. At present, the School of Ministry meets one night a week for three hours. The enrollment varies from semester to semester. The average attendance would be from 3 to 10 students. This ministry will meet on Monday nights.

SITE PLAN FOR LOT LINE ADJUSTMENT

LOTS 1 & 2 OF TRACT 390 PER L.S.P. 10-33, KINGS COUNTY RECORDS

OWNER/ APPLICANT

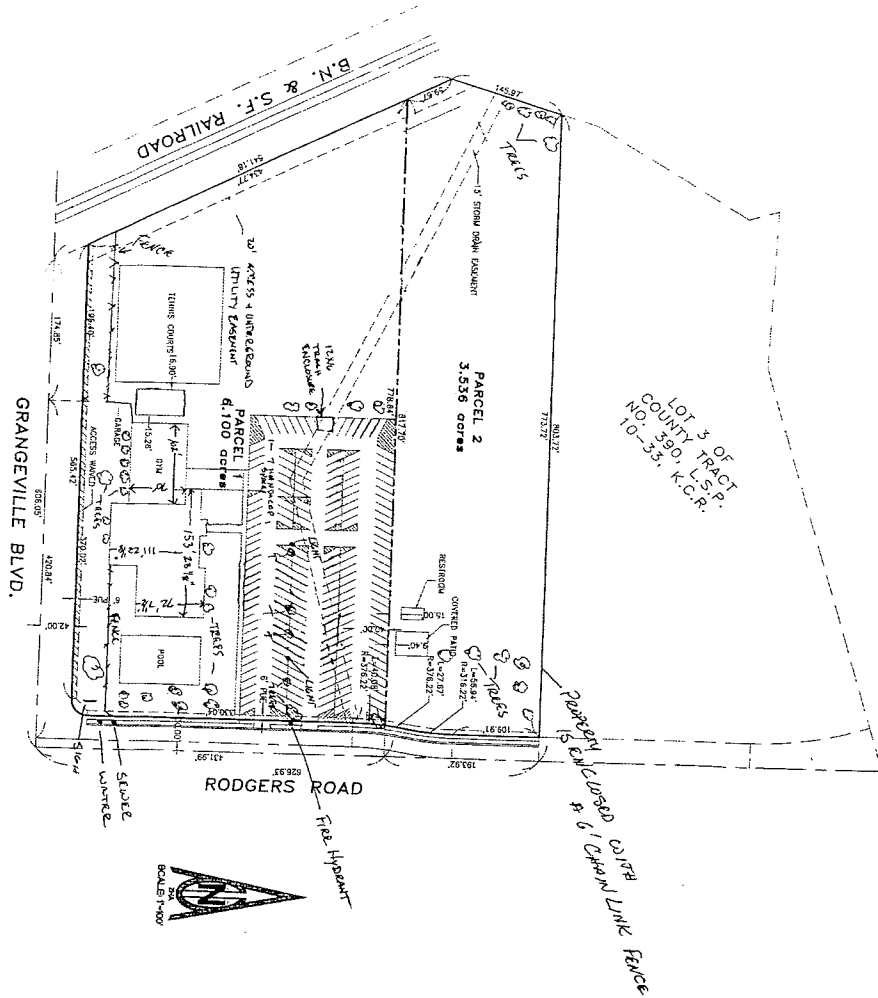
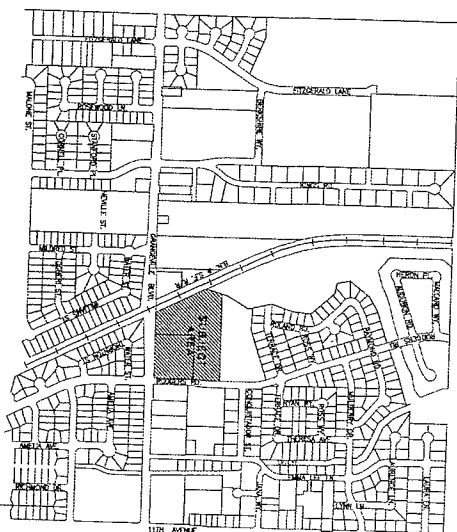
D.A. PROPERTIES, INC.
1010 W. GRANGEVILLE BLVD.
HANFORD, CA 93230

GENERAL INFORMATION

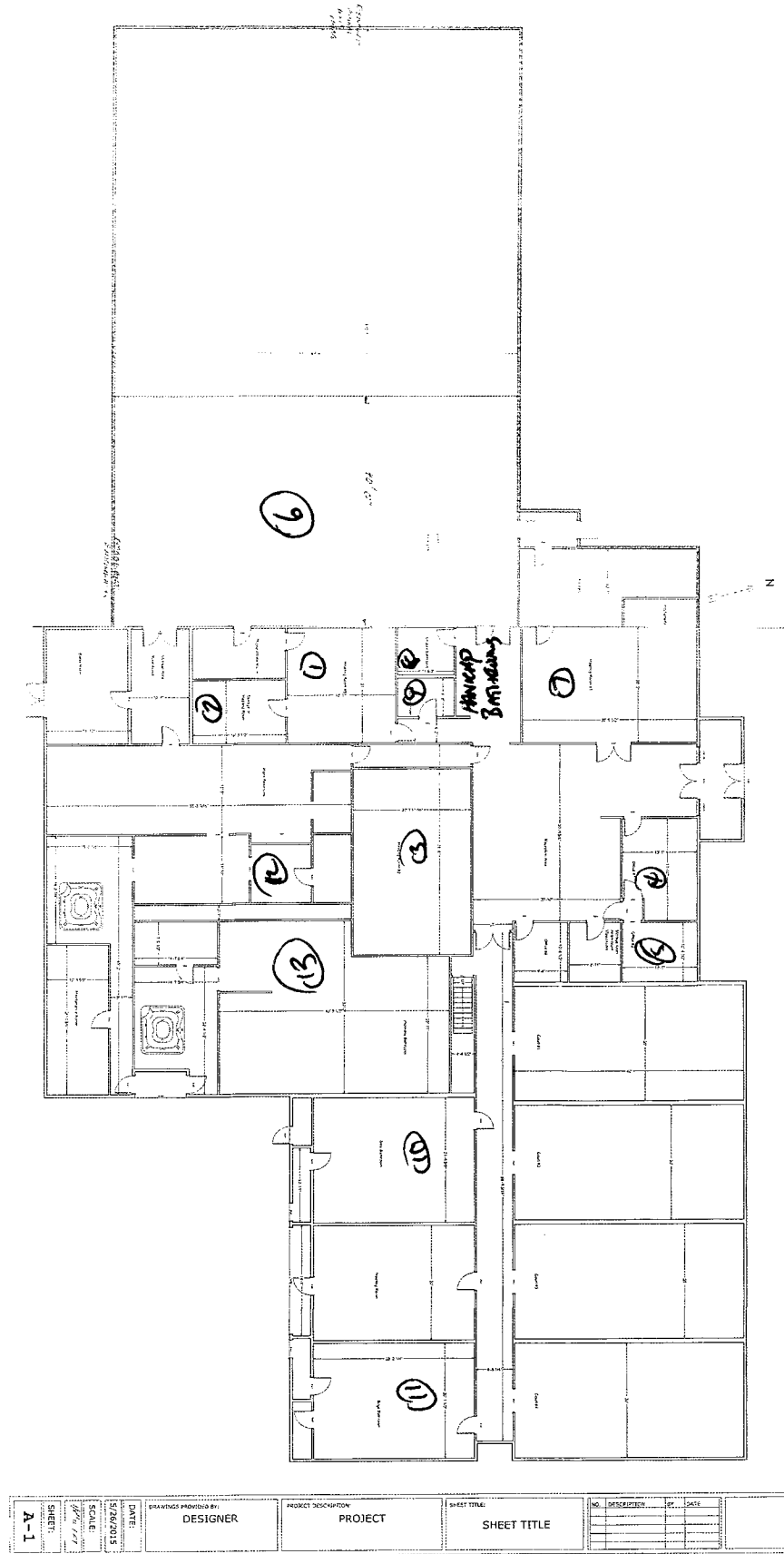
EXISTING ZONE	D - OFFICE
PROPOSED ZONE	
EXISTING USE	OFFICE
PROPOSED USE	OFFICE/CHURCH/CHRISTIAN SCHOOL/FUTURE PRE-SCHOOL
SEWER	CITY OF HANFORD
WATER	CITY OF HANFORD
A.P.N.	008-410-055

VICINITY MAP

NOT TO SCALE



ENGINEERS ZUMWALT HANSEN LAND SURVEYORS 608 N. IRWIN STREET HANFORD, CA 93230 (559) 582-1056		LOTLINE ADJUSTMENT for YMCA		NO. REVISIONS DATE
DRAWN BY: DCA CHECKED BY: JFC DATE: 03/28/17 SCALE: AS SHOWN SHEET: 1 OF 1	Packet Pg. 93			



City of HANFORD

CALIFORNIA 93230
CITY OFFICES 317 NORTH DOUTY STREET



MAYOR
DAVID G. AYERS

VICE-MAYOR
SUE SORESEN

COUNCIL MEMBERS
MARTIN DEVINE
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CITY MANAGER
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ROBERT M. DOWD

DATE: September 6, 2018

PROJECT: Site Plan Review 2018-34 (502-1028)

APPLICANT: New Testament Baptist Church

LOCATION: 1010 W. Grangeville Boulevard (APN 008-410-055)

PROPOSAL: Allowing a religious institution and associated charter school within an existing building (no building expansion proposed).

ZONING: O Office

SITE PLAN REVIEW COMMITTEE REVIEW DATE: August 8, 2018

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☐ **MEETING REQUIRED:** During site plan review, concerns were identified, schedule a meeting with the following prior to resubmittal:

- ☐ Planning
- ☐ Fire
- ☐ Solid Waste
- ☐ Wastewater

- ☐ Building
- ☐ Engineering
- ☐ Police
- ☐ Parks and Recreation

☒ **REVISE AND PROCEED**

- ☒ Approved subject to the following and the attached conditions of approval.
- ☒ Submit plans for a building permit between the hours of 8:00 a.m. and 4:00 p.m.
- ☒ Your Plans must be reviewed by:

- | | |
|---|---|
| ☐ City Council | ☒ Planning Commission CUP required |
| ☐ Parking and Traffic Commission | ☐ Parks and Recreation Commission |
| ☐ Other: _____ | |

Signed,

Gabrielle de Silva

Gabrielle de Silva, Associate Planner
Community Development Department

September 6, 2018
DATE

EXPIRATION

A site plan approval shall expire one (1) year from its approval date, unless a building permit application has been submitted or the use has commenced. Prior to expiration, the Community Development Director may extend the permit expiration date by one (1) year if there is substantial evidence that the applicant is diligently pursuing building permit approval or commencement of the use (Hanford Municipal Code Section 17.72.070).

CALIFORNIA ENVIRONMENTAL QUALITY ACT

Site Plan Review is a ministerial action, therefore not subject to the California Environmental Quality Act (CEQA) (CEQA Guidelines 15268 and MC 17.70.070).

COMMENTS AND CONDITIONS OF APPROVAL

THE FOLLOWING DEPARTMENT COMMENTS AND CONDITIONS ARE ATTACHED:

- ☒ PLANNING
- ☒ BUILDING
- ☐ ENGINEERING
- ☐ SOLID WASTE
- ☐ WASTEWATER
- ☐ POLICE
- ☒ FIRE
- ☐ PARKS AND RECREATION

DEFENSE AND INDEMNIFICATION PROVISION

That the applicant shall defend, indemnify, and hold harmless the City of Hanford ("City"), its officials, officers, employees, representatives, agents and attorneys, from and against all claims, damages, losses, judgments, liabilities, expenses and other costs, including litigation costs and attorney's fees, arising out of, resulting from, or in connection with, the City's act or acts leading up to and including approval of any environmental document and/or granting of any approvals relating to the Project. Applicant's obligation to defend, indemnify and hold the City harmless specifically includes, but is not limited to, any suit or challenge by any third party against the City which challenges or seeks to set aside, void or annul the legality or adequacy of any environmental document approved by the City or any approval related to the Project

APPLICANT'S STATEMENT (Must be signed prior to issuance of a building permit)

I have reviewed a copy of the Site Plan Review Approval No. 2018-34 and I understand that the proposed construction and/or land use is dependent upon the fulfillment of the conditions of approval and construction of all required public improvements prior to use, inauguration or occupancy, unless other arrangements are approved.

Applicant or Authorized Representative

PLANNING DIVISION

Contact Associate Planner Gabrielle de Silva at (559) 585-2578
Concerning questions regarding the comments below:

O Office - all checked comments shall apply:

Corrections:

- **The use of a day-care in the O district is not permitted.**

General:

- ☒ That approval of this project does not exempt compliance with all applicable sections of the Zoning Ordinance, Public Works Improvement Standards, fees, or other City Ordinances.
- ☒ That all approved proposals of the applicant be conditions of development, if not mentioned herein.
- ☒ That the site be developed according to the approved site plan, titled Site Plan Review No. 2018-34 with minor modifications to be approved by the Community Development Department.
- ☒ That no expansion of the use which would tend to increase the projected scale of operations beyond the scope and nature described in this Site Plan Review shall be permitted except upon application for, and approval of, modification of this application according to all procedures and requirements thereof.
- ☒ That the use of a religious institution and a charter school requires a conditional use permit, in accordance with the Land Use Table presented in Section 17.08 of the Hanford Municipal Code.

Cultural Resources:

- ☒ That if cultural resources are discovered during construction or related activities, all work shall be halted and a qualified archeologist and the City of Hanford shall be notified. The find shall be properly investigated and appropriate measures are to be taken before construction may continue.

Coverage (Section 17.32.050)

- ☒ That the maximum coverage of a lot shall be determined by the combined building setback area requirements, accessory structure limitations, open space requirements, and off-street parking.

Building Setback Area (Section 17.30.060)

- ☒ That no structure shall be placed within a building setback area.
- ☒ The front building setback area shall be 15 feet from the front lot line.

- ☒ That the rear building setback may be zero feet from the rear lot line, except where the rear lot line abuts a public street, an R-L, R-M, R-H, OR, O, PF, AP, or CO zone district, then the rear building setback shall be 15 feet.
- ☒ That the side building setback area shall be zero feet, except where the side lot line abuts a public street or an R-L, R-M, R-H, OR, O, PF, AP, or CO zone district, then the side building setback shall be 15 feet.

Distance between Structures (Section 17.32.070)

- ☒ The minimum distance between structures shall be 10 feet, except as provided by the building code.

Height of Structures (Section 17.32.080)

- ☒ The maximum structure height shall be 50 feet.

Driveways (Section 17.32.090)

- ☒ Wherever possible development shall share driveways to minimize the number of driveways on public streets.
- ☐ New driveways near street corners shall be located a minimum 100 feet from the radius curve of the curb, unless otherwise specifically approved by the City Engineer.
- ☐ Sites with alleys should utilize alley access to minimize driveways on streets to the greatest extent possible.

Other Setback Standards (Section 17.30.130)

- ☒ That mechanical equipment shall be located a minimum of five feet from a side lot line that adjoins a neighboring side lot line.
- ☐ That garages or carports opening onto an alley shall be set back twenty-five feet from the far side of the alley, provided that the structure, including roof overhang, shall not extend into the alley right-of-way.
- ☐ That garages and carports opening onto the street side lot line of a corner lot shall be setback 20 feet from the street side lot line.

Off-Street Parking (Section 17.32.100 and 17.54)

- ☒ That the applicant shall provide a minimum of 33 parking stalls on site, two of which are ADA-accessible, based on the calculations below:

Religious institutions or facility: 1 space per 4 seats:

$$100 \text{ seats} \div 4 \text{ seats} = 25 \text{ stalls required}$$

Private or charter school (kindergarten to 8th grade): 1 space per employee

4 employees = 4 parking spaces

Private or charter school (9th – 12th grade): 1 space per employee plus 1 space per 10 students
(planned enrollment)

= approximately 4 (3 staff member and 12 students)

- ☒ That parking areas shall not be closer than five feet to any front or street side lot line. The area between the lot line and parking area shall be landscaped.
- ☒ That new parking areas shall be located behind or to the side of buildings, not between buildings and the street.

Usable Open Space (Section 17.32.110)

- ☒ That there is no minimum requirement for usable open space.

Landscaping (Section 17.30.160 and 17.52) (Landscaping already installed)

- ☒ That landscaping be provided in accordance with Section 17.52 Landscape Standards of the Hanford Municipal Code.
- ☐ That landscaping shall be provided and permanently maintained in a setback area not less than 15 feet from a lot line adjoining a street, except where the setback area is covered by structures, parking, or driveways.
- ☐ General Design Standards: the following features shall be incorporated into the design of the proposed landscape and shown on the required landscape plans:
 - ☐ Publicly maintained landscape areas shall be separated from privately maintained landscape areas with, at a minimum, a four (4) inch wide concrete mow strip.
 - ☐ Pedestrian access to sidewalks and structures shall be integrated with the design of landscaped areas.
 - ☐ Landscape adjacent to driveways and parking areas shall be protected from vehicle damage through the provision of a minimum six (6) inch high and six (6) inch wide concrete curb.
 - ☐ Concrete mow strips, when used, shall be a minimum of four (4) inches in width.
 - ☐ Trees and shrubs shall be planted so that at maturity they do not interfere with utility lines and traffic safety sight areas.
 - ☐ Trees and shrubs shall be planted and maintained in a manner that protects the basic rights of adjacent property owners, particularly the right to solar access.
 - ☐ Trees planted within five (5) feet of sidewalks or curbs shall have an eighteen (18) inch by ten (10) foot long linear root barrier placed at each edge of the sidewalk or face of curb, centered on the tree.

- ☐ Plant materials. Plant materials shall be selected and installed in accordance with the following requirements:
- ☐ The size of ten (10) percent of the trees to be planted shall be twenty-four (24) inch box or larger. The remaining trees shall be sized fifteen (15) gallons or larger.
 - ☐ The size of seventy (70) percent of plants and shrubs shall be at five (5) gallon or larger. The remaining plants and shrubs shall be sized one (1) gallon or larger.
 - ☐ The size of groundcover at planting shall be one (1) gallon or larger.
 - ☐ Groundcover shall be designed to have one hundred (100) percent coverage within two (2) years.
 - ☐ Drought tolerant plant material and climate appropriate species shall be emphasized in the design.
 - ☒ That the landscaped area shall be planted with live and healthy plant materials suitable for screening/or ornamenting the site. Landscaped areas shall be watered by automatic systems and designed and developed in accordance with Chapter 12.08 and the most recent State Model Water Efficient Landscaped Ordinance.
 - ☒ That no fence, hedge, or shrub shall be installed, planted, or maintained along a street frontage, which creates a traffic or pedestrian hazard.

Noise:

- ☒ That construction equipment is muffled and construction activities be limited to the hours between 7:00 a.m. to 10:00 p.m., Monday through Friday, unless the construction is within the enclosed structure or approved by the Community Development Department.
- ☒ That noise from fixed mechanical equipment, when measured at the property line, meets the standard of the Hanford Noise Element.

Outdoor Lighting Standards (Section 17.50.140)

- ☒ That all lights and light fixtures, except public street lights, shall be located, aimed or shielded so as to minimize light trespassing across property boundaries or skyward.
- ☒ That no lights or light fixtures shall flash, revolve, blink or otherwise resemble a traffic control signal or operate in such a fashion to create a hazard for passing traffic.
- ☒ That building mounted lighting fixtures shall be attached only to the walls of the building. The top of a light fixture attached to a building wall shall not be higher than the top of the building parapet or the top of the roof eave, whichever is lower.
- ☒ That canopy ceiling light fixtures shall be recessed or the sides of the lens area shall be shielded in order to eliminate emission of horizontal light.
- ☒ That mercury vapor lamps shall be a fully shielded fixture with all light directed on-site.

- ☒ That freestanding light fixtures shall not exceed eighteen (18) feet in height measured from the top of a light fixture to the adjacent grade at the base of the support for that light fixture.

Tents, Tarps, and Other Coverings (Section 17.50.130)

- ☒ That no front or side building setback area shall be covered by tents, tarps, cloth, fabric, or a wood or metal covering or structure except for the following:
- ☒ Standard window and door awnings
 - ☒ Ornamental covers, such as a sidewalk or entry awning trellis, or other similar improvement intended as an improved passageway or for aesthetic purposes providing architectural integrity with the building to which it is attached. Supports shall be ninety (90) percent open and shall not be enclosed.

Dust Control:

- ☒ That the appropriate dust-control practices of the San Joaquin Valley Air Pollution Control District shall be implemented.
- ☒ That the any necessary permits be obtained through the San Joaquin Valley Air Pollution Control District.

BUILDING DIVISION
SPR 2018-034(502-1028) Church/Christian School
9-6-18
1010 W Grangeville

Contact Building Official: Tom Webb (559) 585-2584

Concerning questions that you may have on the conditions listed below:

1. That building permits must be obtained from the City Building Division for each new structure to include but not limited to: buildings, pools, fences, trash enclosures, signs and carports for any structural, plumbing, electrical or mechanical work being done.
2. That no building or structure shall be used or occupied, **and no change in the existing occupancy classification of building or structure or portion thereof shall be made until the building official has approved the change and issued a Certificate of Occupancy.**
3. That detailed dimensioned plans be provided to the Building Division for each structure prior to obtaining construction permits. Each structure will require a separate submittal and permit.
4. That because of the Change of Occupancy from A to E, all of the areas used for the E occupancy must meet accessibility standards.

****** Each structure will be considered a separate submittal. Grading, Landscaping, Signage and all Fire permits are separate submittals as well and require separate applications and submittals as applicable. ******

5. That the site, as well as the buildings, shall be made accessible and usable by the disabled in accordance with the California Building Code, Chapter 11B.
6. That all construction shall conform to the Most Current Edition (2016) of the California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Fire Code, California Energy Code and CalGreen.
7. That the tenant, lessee, and/or owner are responsible for compliance with the Americans with Disabilities Act. By federal law your facility must be made accessible to the highest degree possible.
8. That block walls and trash enclosures require separate submittals/permits through the Building Dept.

Hanford Fire Department

Contact Fire Chief Chris Ekk @ 559-585-2545 or cekk@cityofhanfordca.com concerning questions that you may have on the following conditions.

Site Plan Review

Date: September 4, 2018

Project #: 2018-34 (502-1028) 1010 W. Grangeville Blvd. New Testament Baptist Church

General Instructions

1. Approval of this project does not exempt compliance with all applicable sections of the City adopted fire codes and local fire ordinances.
2. All fire protection systems must be installed and operational prior to occupying the building.
3. All permits shall be issued and fees paid prior to scheduling inspections with the Fire Department. To schedule appointments for inspections, please email at grocha@cityofhanfordca.com and dbodiroga@cityofhanfordca.com
4. Scope of work shall be clearly stated on all plans submitted for permit.
5. All Deferred Submittals shall be listed on the building plan Title Page. All deferred submittals are required to be submitted within 30-days of building permit issuance.

The following comments are applicable if checked:

1. ☐ No comments.
2. ☒ This project must comply with latest applicable codes.
3. ☒ Project must meet minimum fire flow requirements per the table in Appendix B & C of the 2016 California Fire Code.
4. ☒ If a new fire hydrant flow test is required, contact the fire department for submittal requirements.
5. ☐ Based on the occupancy classification, an automatic sprinkler system is required for this project. **A separate fire department permit is required.** Contact the fire department for submittal process.
 - ☐ NFPA 13 System per CFC 903.3.1.1
 - ☐ NFPA 13R System per CFC 903.3.1.2 (Group R occupancies)
 - ☐ NFPA 13D System per CFC 903.3.1.3 (one and two-family dwellings, Group R-3, and townhouses)
6. ☐ For automatic sprinkler systems, **a separate permit must be submitted** for the underground system supplying the sprinkler system. Contact the fire department for submittal information.

7. ☐ Fire Riser Room: All new buildings that require an automatic fire sprinkler system shall contain a separate room to house the fire riser and FDC inside of it and shall have the following building elements:
- At least one man door shall be provided - only exterior door(s) are allowed,
 - The fire riser room and the door shall be large enough to accommodate repairs and/or maintenance needed by the use of tools and the removal and/or replacement of parts/pipe to the fire riser or FDC; suggested size 4' x 4' room.
 - One-hour rated construction,
 - Fire sprinkler head coverage required,
 - Normal and emergency back-up lighting shall be installed inside the fire riser room,
 - The exterior of the fire riser door shall have permanent signage stating FIRE RISER ROOM in a contrasting color to background,
 - For existing buildings: please contact the fire department for requirements.
8. ☐ When a sprinkler system is required with 21 or more sprinkler heads, the system shall be monitored by a Central Station Service. Fire alarm and detection systems required by Chapter 9 of the currently adopted edition of the California Building Code (CBC) and CFC shall be installed per NFPA 72. ***A separate fire department permit is required*** for fire sprinkler monitoring and/or fire alarm systems required by the latest edition of the CBC. Contact the fire department for submittal process.
9. ☐ A hydrant will be required within 50 feet of the fire department connection. **Knox FDC Plugs, Model #3401**, are required on all FDC's. The ordering of Knox Box products can be done directly at www.knoxbox.com or an order form can be obtained from the fire department.
10. ☒ When any portion of the facility or building to be protected is more than 400 feet from a hydrant on a fire apparatus access road as measured by an approved route around the exterior of the building, on-site fire hydrants and mains shall be provided where required by the fire code official.
11. ☒ Depending on the location of the existing fire hydrant(s), additional fire hydrants may be required. All hydrants must be in place and accepted by the fire department prior to any combustibles being brought onto the site.
12. ☐ No additional hydrants are necessary for this project.
13. ☐ Number of additional hydrants necessary for this project:.
14. ☐ Fire hydrant spacing shall be as follows:
- a. **Residential development:** one hydrant shall be installed at 500 foot intervals.
 - b. **Commercial development:** one hydrant shall be installed at 300 foot intervals.
 - c. Or as required by Appendix C of the California Fire Code
15. ☒ Fire hydrant protection posts shall be installed at all fire hydrants that are

subject to vehicle damage.

16. ☒ Approved fire apparatus access roads shall be provided for every facility, building, or portion of a building constructed or moved onto or with the City of Hanford. It shall extend to within 150 feet of all portions of the facility and all portions on the exterior walls of the first story of the buildings as measured by an approved route around the exterior of the building or facility.
17. ☒ All dead-end access roads in excess of 150 feet must be provided with an approved turn-around or hammer head complying with City standards.
18. ☒ Existing access roads are sufficient.
19. ☒ All access road shall not be less than 20 feet wide and 13 feet 6 inches in height.
Ensure adequate access through parking lot.
20. ☒ Access road turning radius for fire apparatus is as follows (show all three on plans):
 - a. 20 feet 1 inch inside turning radius (inside rear wheel)
 - b. 36 feet 3 inch curb to curb (outside front wheel)
 - c. 44 feet 6 inch outside radius (outside front bumper)
 Ensure turning radius requirements are met for all turns throughout the parking lot.
21. ☒ Additional access roads may be required per CFC 2016 Section 503.1.2. The fire code official is authorized to require more than one fire apparatus access road based on the potential for impairment of a single road by vehicle congestion, condition of terrain, climatic conditions or other factors that could limit access.
22. ☒ Traffic calming devices shall not be installed onto fire department emergency access roads unless prior approval is obtained from the Hanford Fire Department.
23. ☒ Areas identified as "Fire Lanes" must be identified as such per requirements set forth in the California Vehicle Code Section 22500.1. Coordinate with the fire department to identify location of fire lanes and markings or signs.
 - a. Access roads 20-26 feet in width. Fire lanes shall be on both sides of the fire apparatus access roads.
 - b. Access roads 26 to less than 32 feet in width: Fire lanes shall be on one side of the fire apparatus access roads.
 - c. Access roads 32 feet in width or more: No fire lanes required.
24. ☐ Temporary or permanent fire department access roads shall be constructed in accordance with City Standards ST-36. All weather access roads shall be in place prior to any combustible construction being brought onto the premises unless approved by the fire department.
24. ☒ Locked gates installed across fire department access roads:

Knox devices on all gated entries.

- a. **Manual gates** with a chain lock require a **Knox Padlock, Model #3770**, to be installed on them; or a **Knox Box, Model 3200 Series**, shall be installed on the exterior of the gate and a key to the lock on the gate must be placed in the Knox Box.
- b. **Electric gates** shall be equipped with an electric **Knox Key Switch, Model 3502**, at the gate location.
- c. In case of a loss of power, electrically operated gates shall have a means of back-up power or shall default in the open position for immediate fire department access.
- d. At no time shall the width of the fire department access road be reduced below **20-feet wide through or at any gates** along the fire departments' emergency access roads due to protruding objects from gate supports, frames, signs, access booths, curbs, etc.

25. ☒ A Knox Box will be required. Keys that open all locked areas will also be required and placed in the Knox Box. The ordering of Knox Box products can be done directly at www.knoxbox.com or an order form can be obtained from the fire department.

Knox Box for building containing the office and fitness center and lounge.

26. ☒ All address numbers shall be installed onto the building and shall be visible from the frontage street. The color of the address numbers shall be in a contrasting color to the building.

Size of Address Numbers:

- | | |
|---|------------------|
| ○ Downtown area (existing buildings): | 4-inch numbers, |
| ○ Buildings 20-ft. or less from the street: | 6-inch numbers, |
| ○ Buildings 21- to 40-ft. from the street: | 8 inch numbers, |
| ○ Buildings more than 40-ft. from street: | 12 inch numbers. |

27. ☐ Commercial cooking equipment that produce grease laden vapors shall be provided with a Type I hood. ***A separate permit is required for the Type I hood.*** Contact the fire department for submittal information.
28. ☐ All commercial cooking appliances creating grease laden vapors shall have a K-Class fire extinguisher within 30-feet of cooking appliances in accordance with the most currently adopted edition of the CFC.
29. ☐ ***A separate permit is required*** for all hazardous material and/or flammable and combustible liquids, gases, solids, etc., over the exempt amounts set forth in the latest adopted edition of the California Fire Code.
30. ☐ ***A fuel tank permit is required*** for underground and aboveground gasoline/LPG/Diesel.

Notice of Exemption**Appendix E**

To: Office of Planning and Research
P.O. Box 3044, Room 212
Sacramento, CA 95812-3044

From: City of Hanford (Planning Division)
317 North Douty Street
Hanford, CA 93230

County Clerk
County of Kings
Kings County Government Center
Hanford, CA 93230

Project Title: Conditional Use Permit No. 2018-10

Project Location – 1010 W. Grangeville Boulevard (APN 008-410-055)

Project Location – City: Hanford Project Location – County: Kings County

Description of Nature, Purpose and Beneficiaries of Project: A request to allow a religious institution and associated charter school within an existing building in the O Office zone district.

Name of Public Agency Approving Project: City of Hanford

Name of Person or Agency Carrying Out Project: New Testament Baptist Church

Exempt Status: **(check one)**

- ☐ Ministerial (Sec. 21080(b)(1); 152698);
☐ Declared Emergency (Sec. 21080(b)(3); 15269 (a));
☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
☒ Categorical Exemption: State type and section number: Existing Facilities 15301
☐ Statutory Exemption. State code number:

Reasons why project is exempt:

(a) The project consists of the operation and leasing of an existing private structure involving no expansion

Lead Agency

Contact Person: Gabrielle de Silva

Area Code/ Telephone: (559) 585-2578

Signature:

Date: September 11, 2018

Title: Associate Planner

☒ Signed by Lead Agency

Date received for filing at OPR:

☐ Signed by Applicant

Attachment: Attachment 4 - Notice of Exemption (CUP 2018-10 New Testament Baptist)