



AGENDA

PLANNING COMMISSION

of the

CITY OF HANFORD

COUNCIL CHAMBERS
400 N. Douty St.
7:00 PM, Tuesday, November 10, 2015

CALL TO ORDER

ROLL CALL

FLAG SALUTE

INVOCATION - PASTOR LAMBERT SIKKEMA

PUBLIC COMMENT

*This is the time for citizens to comment on subject matters not on the agenda and that are within the jurisdiction of the Commission. This is also the public's opportunity to request an item from the Consent Calendar be pulled for discussion purposes or to comment on any item on the agenda. Comments related to Public Hearing items will be heard at the time the item is discussed. A maximum of **five minutes** is allowed for each speaker. Please begin your comments by stating your name and providing your city of residence.*

CONSENT CALENDAR

Consent Calendar items are considered routine and will be enacted in one motion. There will be no separate discussion of these matters unless a request is made and then the item will be removed from the Consent Calendar to be discussed and voted upon by a separate motion.

A. Approval of Minutes of October 13, 2015

PUBLIC HEARING

Variance 2015-03: a request to deviate from the standards of the Municipal Code Section 17.44.050 to allow signage to exceed the maximum allowable square footage for the future DD's Discount storefront in the "PC" Planned Commercial Zone District. The project is located at the northwest corner of 12th Avenue and Lacey Boulevard, 1750 West Lacey Boulevard (APN 009-050-016)

DIRECTOR'S COMMENTS

COMMISSIONER'S ITEMS OF INTEREST

ADJOURNMENT

Materials related to an item on this Agenda submitted to the Planning Commission after distribution of the agenda packet are available to public inspection in the Planning Division Office located at 317 N. Douty Street, Hanford, California 93230, during normal business hours. Such documents are also available at the city's website, www.cityofhanfordca.com subject to staff's ability to post documents before the meeting.

If you need a disability-related modification or accommodation, including auxiliary aids or services, to participate in this meeting, please contact the Planning Division's office, 559-585-2580, 317 N. Douty Street, Hanford, California 93230, at least 2 days prior to the meeting {28 CFR 35.102.35.104 ADA Title II}

APPEALS:

Any action of the Planning Commission, which is a final project decision, may be appealed to the City Council by the applicant or any adversely affected person. To file an appeal, an appeal application and filing fee of \$1,000.00 must be submitted to the Community Development Department, 317 N. Douty Street, Hanford, California, within ten (10) days following the date of the final decision of the Planning Commission.



**AGENDA
STAFF REPORT**

MEETING DATE: 11/10/2015	AGENDA SECTION:
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SUBJECT:

A. Approval of Minutes of October 13, 2015

RECOMMENDATION:

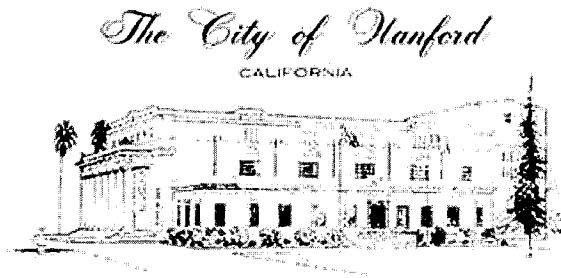
Approve Minutes of October 13, 2015

BACKGROUND:

FISCAL IMPACT:

ATTACHMENTS:

PC Minutes 10-13-15



MINUTES
PLANNING COMMISSION
of the
CITY OF HANFORD

COUNCIL CHAMBERS
400 N. Douy St.
7:00 PM, Tuesday, October 13, 2015

CALL TO ORDER

Vice Chairperson **HAM** called the meeting to order at 7:07 p.m., explaining that the meeting was starting late due to the late dismissal of the 5:30 p.m. Joint Meeting with City Council.

ROLL CALL

Attendee Name	Title	Status	Arrived
Steve Froberg		Absent	
Dennis Ham		Present	
Ajmer Nahal		Present	
Richard Douglas		Present	
Michael Johnston		Present	
Travis Paden		Present	

FLAG SALUTE

Led by Commissioner **JOHNSTON**

INVOCATION

Commissioner **PADEN**

PUBLIC COMMENT

*This is the time for citizens to comment on subject matters not on the agenda and that are within the jurisdiction of the Commission. This is also the public's opportunity to request an item from the Consent Calendar be pulled for discussion purposes or to comment on any item on the agenda. Comments related to Public Hearing items will be heard at the time the item is discussed. A maximum of **five minutes** is allowed for each speaker. Please begin your comments by stating your name and providing your city of residence.*

None.

CONSENT CALENDAR

Consent Calendar items are considered routine and will be enacted in one motion. There will be no separate discussion of these matters unless a request is made and then the item will be removed from the Consent Calendar to be discussed and voted upon by a separate motion.

Senior Planner Haigh announced that Item B was pulled from the agenda, because the State just granted a two-year extension for maps, making this Time Extension request unnecessary.

Motion by Commissioner **JOHNSTON**, seconded by Commissioner **PADEN**, to approve the Consent Calendar. Motion carried by a 5-0 voice vote (Commissioner **FROBERG** was absent.)

A. Approval of Minutes of the September 8, 2015 meeting.

B. TIME EXTENSION 2015-01, a request to extend the life of Tentative Parcel Map 2006-12 for 12 additional months.

This item was removed.

PUBLIC HEARING

A. CONDITIONAL USE PERMIT 2015-03, a proposal to construct a 14,000-square foot auto-collision repair building in the “SC” Service Commercial Zone District. The property is located at the northeast intersection of Glendale Avenue and Aquifer Drive (APN 011-030-001)

Vice-Chairperson **HAM** opened the Public Hearing at 7:09 and called for the Staff Report. Assistant Planner de Silva presented the Staff Report, noted that the applicant was present, and recommended approval of the proposal.

Following questions of staff, Vice-Chairperson **HAM** opened Public Comment. There were none. He then closed Public Comment and opened Commission Discussion. There was no discussion.

Vice-Chairperson **HAM** closed the Public Hearing at 7:15 p.m. and called for a motion.

Motion by Commissioner **JOHNSTON**, seconded by Commissioner **NAHAL**, to approve Conditional Use Permit 2015-03, subject to the findings and conditions in Resolution 2015-21. Motion carried by the following roll call vote:

AYES: Commissioners **JOHNSTON, NAHAL, DOUGLAS, PADEN, HAM**

NOES: Commissioners **NONE**

ABSTAINS: Commissioners **NONE**

ABSENT: Commissioners **FROBERG**

GENERAL BUSINESS

DIRECTOR'S COMMENTS

In Community Development Director Mata's absence, Senior Planner Haigh expressed appreciation to the commissioners for participating in the Joint Meeting with City Council just prior to this meeting. She also mentioned that the Housing Element and Bicycle and Pedestrian Plan may be coming before them soon.

There may be one item for the next meeting, October 27, 2015.

COMMISSIONERS' ITEMS OF INTEREST

None.

ADJOURNMENT

Vice-Chairperson **HAM** adjourned the meeting at 7:17 p.m.

Respectfully Submitted,

Diana Black
Community Department Secretary



AGENDA STAFF REPORT

MEETING DATE: 11/10/2015	AGENDA SECTION:
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SUBJECT:

Variance 2015-03: a request to deviate from the standards of the Municipal Code Section 17.44.050 to allow signage to exceed the maximum allowable square footage for the future DD's Discount storefront in the "PC" Planned Commercial Zone District. The project is located at the northwest corner of 12th Avenue and Lacey Boulevard, 1750 West Lacey Boulevard (APN 009-050-016)

STAFF RECOMMENDATION

Staff recommends that the Planning Commission:

1. Adopt Resolution 2015-26 denying Variance 2015-03 due to an inability to make the appropriate findings.

RECOMMENDED MOTION

1. I move to adopt Resolution 2015-26 denying Variance No. 2015-03.

PROJECT DESCRIPTION

The project is a request for a variance, by Fresno Neon Sign, to deviate from the standards of the Municipal Code Section 17.44.050 in order to exceed the 200.2 sq. ft. of allowable signage for the future DD's Discount store front. The applicant proposes a 265.6 sq. ft. sign to be attached to the building, which exceeds the allowable signage by 65.4 sq. ft.

The applicant requests the following signage, as shown in **Exhibit "A."**

BACKGROUND INFORMATION

The project site is designated by the General Plan as Planned Commercial and is zoned “PC” Planned Commercial. The project site is the location of the former Wal-Mart building. In late 2014, the former Wal-Mart building was divided, in order to accommodate multiple tenants. The first tenant to establish at this location was Hobby Lobby. DD’s Discount is the next proposed tenant for the building. The applicant has already begun tenant improvements under building permit FY16-0035. On behalf of DD’s Discounts, Fresno Neon Sign Company has requested a variance in order to deviate from the standards of the Sign Ordinance Section 17.44.050, by exceeding the maximum square footage permitted for wall signs in the “PC” Planned Commercial Zone District.

Figure 1: Aerial



Figure 2: Zoning (PC)

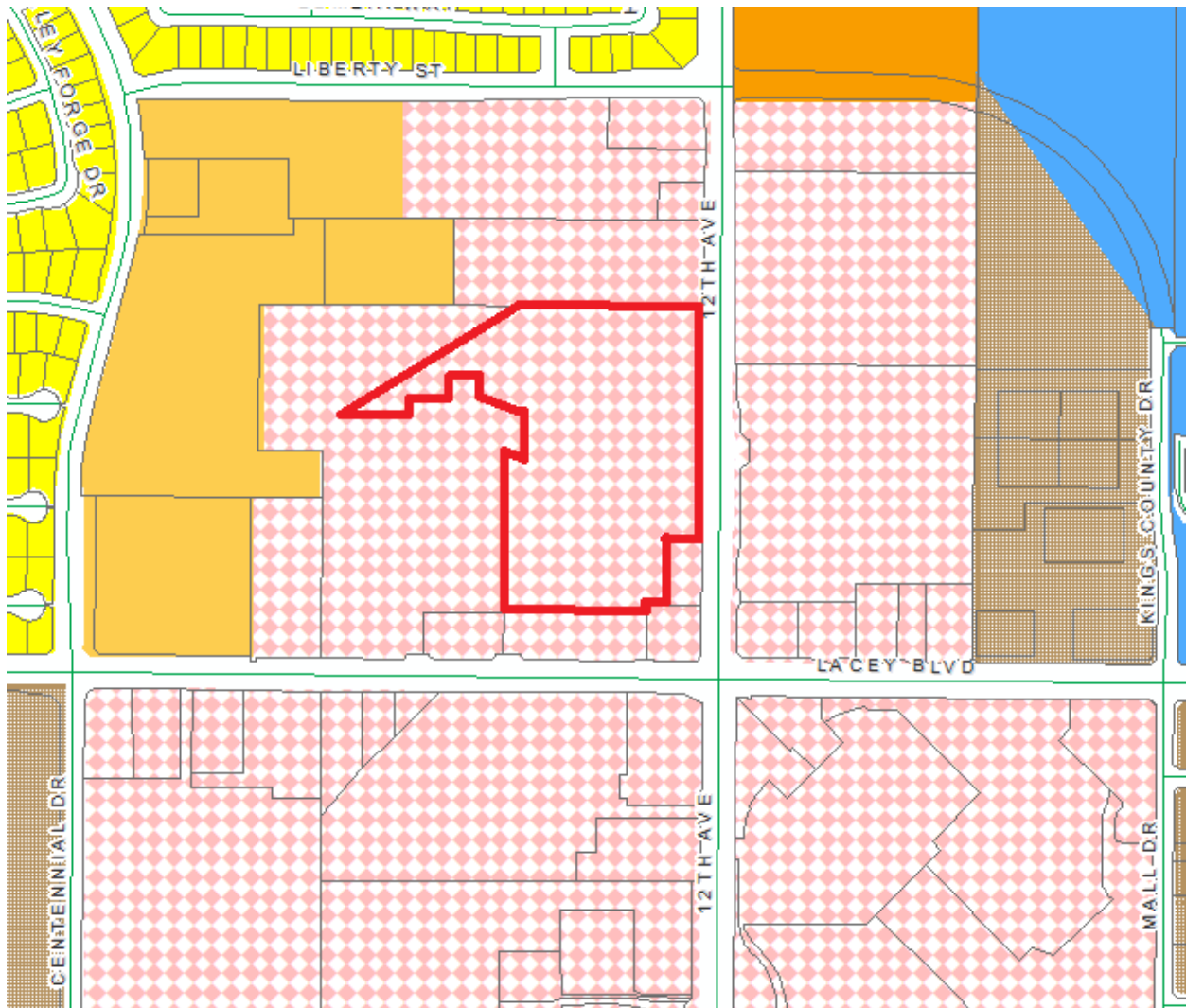
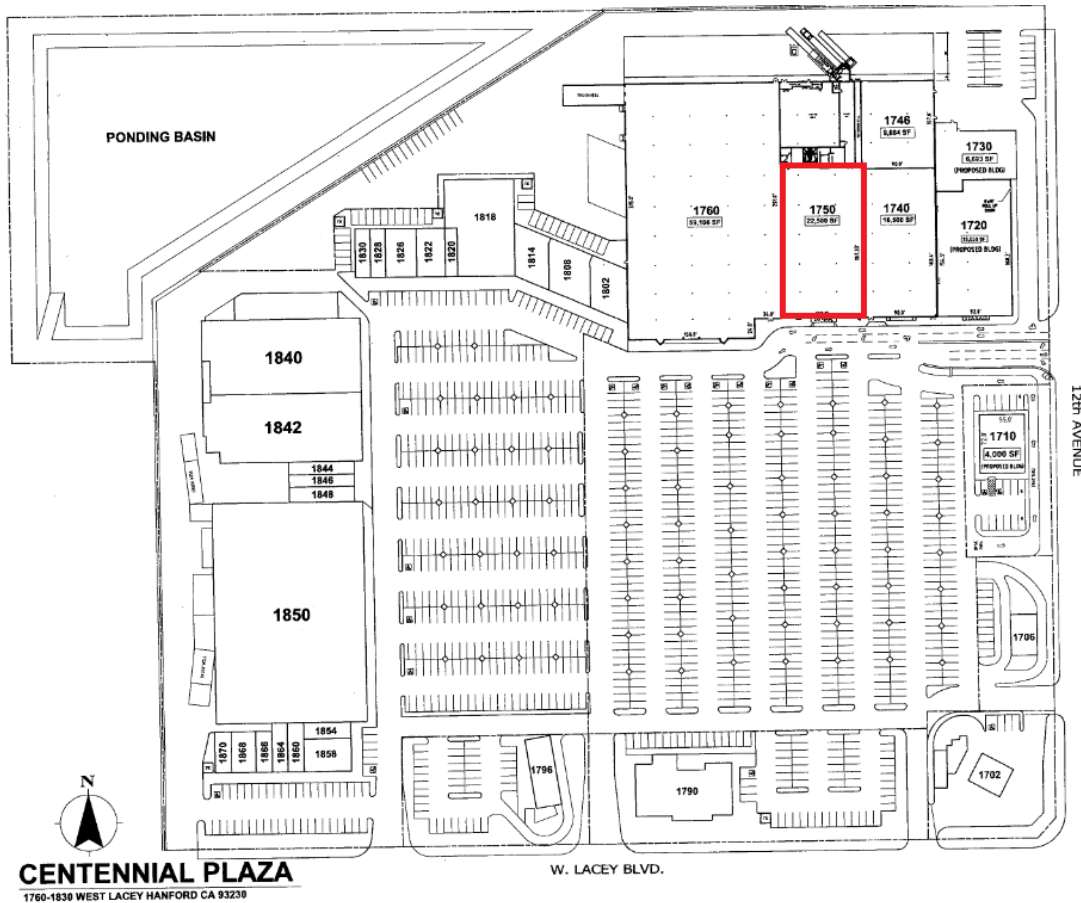


Figure 3: Future DD's Discount Building



PROJECT EVALUATION

Section 17.44.050 prescribes a maximum total aggregate sign area for buildings in the “PC” Planned Commercial Zone District:

1. Maximum Total Aggregate Sign Area in the NC, CC, PC, MC and PHD Districts.
 - a. Primary Frontage. An allowable minimum sign area of up to fifty (50) square feet shall be permitted for each primary building frontage (portion of building occupied by the business and facing a street), regardless of the width of such primary building frontage. A maximum total sign area not to exceed three hundred fifty (350) square feet, shall be permitted for each primary building frontage based on two square feet of sign area for each lineal foot of primary building frontage occupied by the business.

The applicant’s store frontage is 100’ 1””; therefore, the maximum aggregate sign area permitted would be approximately 200 sq. ft.

Sign Calculation

For computation, the Municipal Code specifies that, “for signs comprised of individual letters attached to the business structure, including module letters and logographic symbols, the “effective sign area” means any area enclosed by that minimum imaginary rectangle of vertical and horizontal lines, which fully contains all extremities of each word and/or logographic symbol of the sign” (Hanford Municipal Code, Section 17.44.020, 2002).

Using these computation guidelines, the applicant’s effective sign area computes to 395 sq. ft. Signage calculation using this computation is attached as **Exhibit B**.

The Community Development Department has allowed a liberal calculation of the effective sign area, which benefits the applicant. The Department has permitted the applicant to calculate the effective sign area using an imaginary rectangle around each word, rather than the extremities of the entire sign. Using this computation, the applicant’s effective sign area computes to 265.6 sq. ft. Signage calculation is attached as **Exhibit A**.

The applicant exceeds this maximum by 65.4 sq. ft.

Note: The area identification sign square footage has not been calculated into the aggregate sign total. Per the Community Development Director’s determination, the area identification signage is permissible and is not considered as part of this variance application.

FINDINGS FOR APPROVAL

Pursuant to Section 17.64.060 of the Hanford Municipal Code, six findings must be made before approval of the variance application.

The applicant's variance justification is attached as **Exhibit C**.

1. That there are special circumstances applicable to the property, such as size, shape, topography, location or surroundings that strict application of the Municipal Code deprives the property of privileges enjoyed by other properties in the vicinity under the identical land-use district classification.

ANALYSIS: UNABLE TO MAKE FINDING. That the property is within an integrated shopping center located at the northwest corner of 12th Avenue and Lacey Boulevard. The entire shopping center, and the “PC” Planned Commercial Zone District, is permitted the same amount of signage based on the formula prescribed by the Municipal Code, two square feet of signage per lineal foot of primary business frontage. The future DD’s Discount’s building has 100 feet of lineal business frontage, which would permit a maximum of 200 square feet of signage on the building’s primary frontage. The applicant has requested 265.6 square feet of building signage, which exceeds the allowable amount by approximately 33% percent. There are not special circumstances applicable to the property present; strict application of the Municipal Code would not deprive the property privileges enjoyed by other properties in the vicinity under the identical land use district classification. Each business throughout the “PC” Planned Commercial District

is granted the same amount of signage, based on the calculation of two square feet of signage per lineal foot of business frontage (maximum total sign area not to exceed 350 square feet). All other storefronts within the shopping center have adhered to the prescribed signage allowance.

2. That granting the variance is necessary for the preservation and enjoyment of a substantial property right possessed by other property in the same vicinity and land-use district and denied to the property for which the variance is sought.

ANALYSIS: UNABLE TO MAKE FINDING. That each business throughout the “PC” Planned Commercial District is granted the same amount of signage, based on the calculation of two square feet of signage per lineal foot of business frontage (maximum total sign area not to exceed 350 square feet). All other storefronts within the shopping center have adhered to the prescribed signage allowance.

3. That granting the variance will not be materially detrimental to the public health, safety or welfare, or injurious to the property or improvements in the vicinity and land use district in which the property is located;

ANALYSIS: That this variance application has been reviewed by the various departments (Building, Fire, Planning, and Public Works); no evidence was cited that variance will be detrimental to the public health, safety, or welfare, or injurious to the property or improvements in the vicinity and “PC” Planned Commercial district. *To the contrary, additional, larger signage may assist individuals in reaching their destination without missing their entrance and having to turn back around, thus reducing vehicle miles traveled.*

4. That granting the variance does not constitute a special privilege inconsistent with the limitations upon other properties in the vicinity and land use district in which such property is located;

ANALYSIS: UNABLE TO MAKE FINDING. That each business throughout the “PC” Planned Commercial District is granted the same amount of signage, based on the calculation of two square feet of signage per lineal foot of business frontage (maximum total sign area not to exceed 350 square feet). All other storefronts within the shopping center have adhered to the prescribed signage allowance.

5. That granting the variance does not allow a use or activity which is prohibited in the land use;

ANALYSIS: That the additional signage requested is for a retail use, which is permitted in the “PC” Planned Commercial Zone District.

6. That granting the variance will not be inconsistent with the General Plan;

ANALYSIS: *That the granting of the variance does not conflict with any policy set forth in the General Plan, as signage is only addressed in the General Plan for the Historic District. This variance does not apply to property located within the Historic District.*

ENVIRONMENTAL ASSESSMENT

Pursuant to Section 15311(a), “Accessory Structures”, of the California Environmental Quality Act (CEQA) Guidelines, this project is categorically exempt from environmental review. A Notice of Exemption has been prepared for the project in accordance with CEQA (**EXHIBIT D**).

PUBLIC COMMENTS

Noticing of the variance was published in the newspaper on October 31, 2015 and mailed to property owners within 500 ft. of the project site on October 29, 2015. The Community Development Department has not received comments on the project as of the preparation of this report.

CONDITIONS OF APPROVAL

Due to the inability to make the appropriate findings, Staff is recommending denial of Variance 2015-03 and that the applicant submits a sign permit and adheres to the provisions of the sign ordinance currently in place.

Applicant

Fresno Neon Sign Company
5901 E. Clinton Avenue
Fresno, CA 93727

Property Owner

Centennial Lacey, LLC
1850 S. Sepulveda Blvd.
Los Angeles, CA 90025

FISCAL IMPACT:

ATTACHMENTS:

Resolution 2015-26

Exhibit A - Proposed Signage and Location

Exhibit B - Signage Calculation using Code's Computation Guidelines

Exhibit C - Applicant's Variance Justification

Exhibit D - CEQA Exemption

RESOLUTION NO. 2015-26

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HANFORD DENYING VARIANCE NO. 2015-03, A REQUEST TO DEVIATE FROM THE STANDARDS OF THE MUNICIPAL CODE SECTION 17.44.050 TO ALLOW SIGNAGE TO EXCEED THE MAXIMUM SQUARE FOOTAGE OF THE “PC” PLANNED COMMERCIAL ZONE DISTRICT

At a regular meeting of the Planning Commission of the City of Hanford duly called and held on November 10, 2015, on motion of Commissioner _____, seconded by Commissioner _____, and duly carried, the following resolution was adopted:

WHEREAS, on November 10, 2015, the Planning Commission of the City of Hanford conducted a public hearing in accordance with Section 17.64.050 of the Hanford Municipal Code pertaining to Variance No. 2015-03 requesting to deviate from the standards of the Municipal Code Section 17.44.050 to allow signage in excess of the maximum square footage of the “PC” Planned Commercial Zone District for the future DD’s Discounts storefront located at 1750 W. Lacey Blvd (APN 009-050-016); and

WHEREAS, the Planning Commission and staff have given careful consideration to this variance and have made recommendations thereon; and

WHEREAS, the Planning Commission has carefully considered recommendations and testimony presented at the public hearing of November 10, 2015; and,

WHEREAS, Section 15311(a) of the California Environmental Quality Act Guidelines categorically exempts “Accessory Structures,” such as signs, from Environmental Review; and

WHEREAS, on the basis of the facts and evidence provided in the staff report and the written and oral evidence presented at the public hearing on November 10, 2015, the Planning Commission is unable to make the appropriate findings required by Section 17.64.060 of the Zoning Ordinance:

1. That there are special circumstances applicable to the property, such as size, shape, topography, location or surroundings that strict application of the Municipal Code deprives the property of privileges enjoyed by other properties in the vicinity under the identical land-use district classification.

ANALYSIS: UNABLE TO MAKE FINDING. That the property is within an integrated shopping center located at the northwest corner of 12th Avenue and

Lacey Boulevard. The entire shopping center, and the “PC” Planned Commercial Zone District, is permitted the same amount of signage based on the formula prescribed by the Municipal Code, two square feet of signage per lineal foot of primary business frontage. The future DD’s Discount’s building has 100 feet of lineal business frontage, which would permit a maximum of 200 square feet of signage on the building’s primary frontage. The applicant has requested 265.6 square feet of building signage, which exceeds the allowable amount by approximately 33% percent. There are not special circumstances applicable to the property present; strict application of the Municipal Code would not deprive the property privileges enjoyed by other properties in the vicinity under the identical land use district classification. Each business throughout the “PC” Planned Commercial District is granted the same amount of signage, based on the calculation of two square feet of signage per lineal foot of business frontage (maximum total sign area not to exceed 350 square feet). All other storefronts within the shopping center have adhered to the prescribed signage allowance.

2. That granting the variance is necessary for the preservation and enjoyment of a substantial property right possessed by other property in the same vicinity and land-use district and denied to the property for which the variance is sought.

ANALYSIS: **UNABLE TO MAKE FINDING.** That each business throughout the “PC” Planned Commercial District is granted the same amount of signage, based on the calculation of two square feet of signage per lineal foot of business frontage (maximum total sign area not to exceed 350 square feet). All other storefronts within the shopping center have adhered to the prescribed signage allowance.

3. That granting the variance will not be materially detrimental to the public health, safety or welfare, or injurious to the property or improvements in the vicinity and land use district in which the property is located;

ANALYSIS: That this variance application has been reviewed by the various departments (Building, Fire, Planning, and Public Works); no evidence was cited that variance will be detrimental to the public health, safety, or welfare, or injurious to the property or improvements in the vicinity and “PC” Planned Commercial district. To the contrary, additional, larger signage may assist individuals in reaching their destination without missing their entrance and having to turn back around, thus reducing vehicle miles traveled.

4. That granting the variance does not constitute a special privilege inconsistent with the limitations upon other properties in the vicinity and land use district in which such property is located;

ANALYSIS: UNABLE TO MAKE FINDING. That each business throughout the "PC" Planned Commercial District is granted the same amount of signage, based on the calculation of two square feet of signage per lineal foot of business frontage (maximum total sign area not to exceed 350 square feet). All other storefronts within the shopping center have adhered to the prescribed signage allowance.

5. That granting the variance does not allow a use or activity which is prohibited in the land use;

ANALYSIS: That the additional signage requested is for a retail use, which is permitted in the "PC" Planned Commercial Zone District.

6. That granting the variance will not be inconsistent with the General Plan;

ANALYSIS: That the granting of the variance does not conflict with any policy set forth in the General Plan, as signage is only addressed in the General Plan for the Historic District. This variance does not apply to property located within the Historic District.

THEREFORE, BE IT RESOLVED that Variance No. 2015-03 be denied due to an inability to make the appropriate findings and that the applicant is required to resubmit for a sign permit adhering to the sign ordinance currently in place

APPEAL

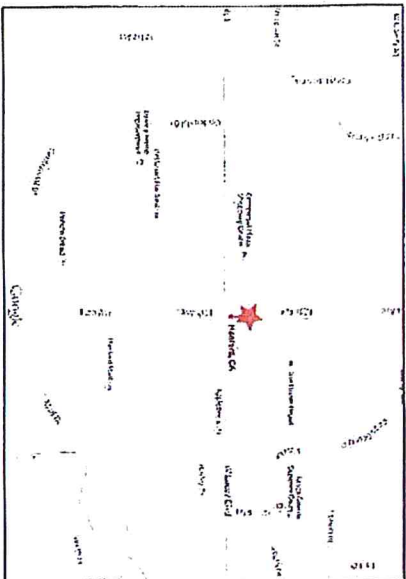
If the applicant is dissatisfied with the action of the Planning Commission, the determination may be appealed to the City Council by filing an appeal form and processing fee with the Community Development Department within (10) days of the date of the decision by the Planning Commission, in accordance with Section 17.70.030 of the Hanford Municipal Code.

PASSED AND ADOPTED at a regular meeting of the Planning Commission of the City of Hanford held on the 10th day of November 2015, by the following vote:

AYES:
 NOES:
 ABSTAIN:
 ABSENT:

I, **Darlene R. Mata**, Secretary of the Planning Commission of the City of Hanford, do hereby certify the foregoing resolution was duly passed and adopted by the Planning Commission of the City of Hanford at a regular meeting thereof held on the **10th day of November 2015**.

Darlene R. Mata, Secretary



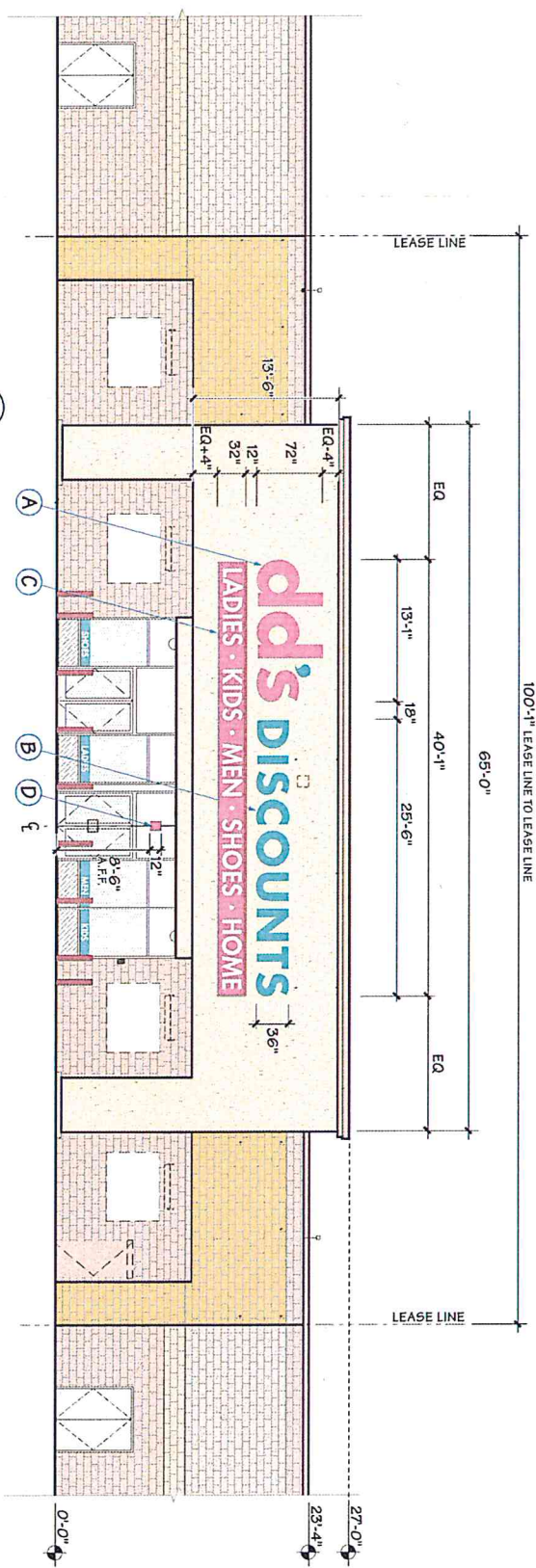
#5293 HANFORD
Centennial Plaza
NWC 12th Ave. & W. Lacey Blvd.
Hanford, CA

דואר	12/09/14
ח	05/26/15

K SHEET

CONTRACTOR TO PROVIDE:
QUITE ACCESS BEHIND LOGO, LETTERS, AND CABINET FOR INSTALLATION AND
MAINTENANCE PER ARTICLE 600 OF THE N.E.C.
R. (4) 20 AMP 120V ISOLATED SIGN CIRCUITS, AND JUNCTION BOXES TO AREA
AND SIGN LETTERS CONNECTED TO THE ENERGY MANAGEMENT SYSTEM
EAST 1/2" THICK PLYWOOD BACKING BEHIND ALL E.L.F.S. WALL SYSTEM FOR
N AND BANNER SUPPORT
FASICA TO BE FREE OF JOINTS & REVEALS, AND OF A LIGHT COLOR (MINIMUM
R.X.) TO PROVIDE HIGH CONTRAST AND VISIBILITY FOR THE SIGN.
STORES ARE SUBJECT TO ROSS STORES, INC. REVIEW AND APPROVAL. COLOR
LEADANCE MAY BE ALTERED BY PRINTING, SEE APPROVED FINAL CONSTRUCTION
INGS FOR COLOR SPECIFICATIONS.
SIGNAGE PROPOSED IN THIS EXHIBIT IS ALTERED BY LOCAL GOVERNMENT
CRITIES, ROSS STORES INC. RESERVES THE RIGHT TO, AT NO COST, ADJUST
TECTORAL FEATURES TO BEST ACCOMMODATE THE ALTERED SIGNAGE.

- A** 72"H INDIVIDUAL "D'S" PAN CHANNEL
LOGO LETTERS:
FACES: TUF-GLAS 5G 21248-EI PURPLE
(21248-EI TEAL FOR AROSTOPHE)
RETURNS: 8"D ALUM. W/ WHITE FINISH
TRIM CAP: 2" WHITE JEWELITE
LETTER BACKS: ALUMINUM
NEON: FOUR-TUBE ISAM EOL C1-71 WHITE, U.L.
MOUNTING: 1/4"-20 GALVANIZED THRU BOLTS
PEG OFF: 1/2" SPACERS
- B** 36"H INDIVIDUAL "DISCOUNTS" PAN CHANNEL
LOGO LETTERS:
FACES: TUF-GLAS 5G 21248-EI TEAL
RETURNS: 8"D ALUM. W/ WHITE FINISH
TRIM CAP: 2" WHITE JEWELITE
LETTER BACKS: ALUMINUM
NEON: FOUR-TUBE ISAM EOL C1-71 WHITE, U.L.
MOUNTING: 1/4"-20 GALVANIZED THRU BOLTS
PEG OFF: 1/2" SPACERS
- C** 32"H X 40"-W X 8"D SINGLE-FACE INTERNALLY-
ILLUMINATED CANOPY SIGN.
2" RETAINERS PAINTED TO MATCH MAGENTA,
MAGENTA TO MATCH PMS #2415C
MATTHEWS #P002875 G1055Y
FACE: TRANSLUCENT 5G WHITE FLEX FACE
WITH 3M 3630-118 INTENSE MAGENTA VINYL
OVERLAY AND 2 1/4" COPY WEDED AWAY.
ILLUMINATION: DHO LAMPS AND BALLASTS, U.L.
MOUNTING: 1/4"-20 GALVANIZED THRU BOLTS
SEE SHEET UC FOR DETAILS.
- D** 12"H X 48"-W X 10"D DOUBLE-FACE INTERNALLY-
ILLUMINATED UNDERCANOPY SIGN, U.L.
SEE SHEET UC FOR DETAILS.



HANCE

10.5 sf
106.6 sf
76.5 sf

SF ALLOWED: 200.16
51 = 261.6 sf +
UNDER-CANOPY = 4 SF
265.6 SF

bill moore & associates
1057 40TH AVE.
P.O. BOX 4153
OIL CITY, CA 94706-0153
510/526-0296 FAX 510/526-6792
www.billmoore.com



#5293 HANFORD
Centennial Plaza
NW 12th Ave. & W. Lacey Blvd.
Hanford, CA

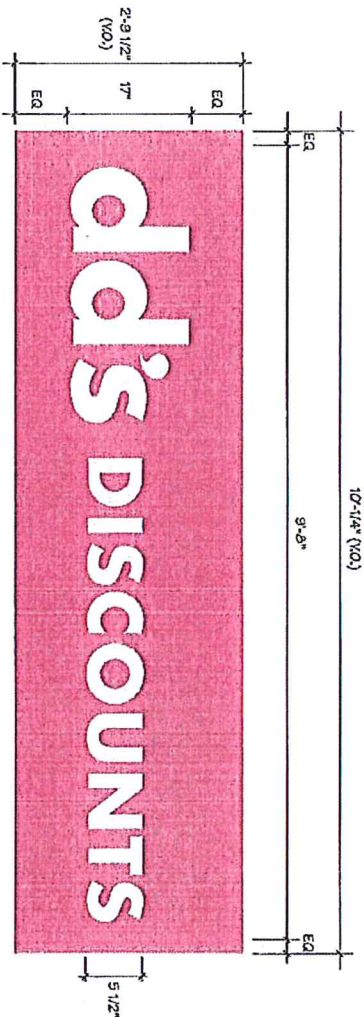
drawn
AE11
KJ
Valence
01/10/15
04/29/15
05/26/15
06/02/15

SHEET
S1

RB-E

- ① TENANT FACE DECORATION BY ROSS STORES, INC.
2'-9 1/2" H X 10'-1 1/4" W (VISIBLE OPENING) TUF-GLAS 620 FACES
FIELD SURFACES DECORATED WITH 3M 8830-116 INTENSE MAGENTA VINYL
CUT AND NEED CUT 1" H 10D 9" AND 5 1/2" H 10DISCOUNTS
LOGO CONT TO REVEAL WHITE.
- TWO (2) FACES REQUIRED: ONE (1) ON EACH SIDE OF DOUBLE-FACED PYLON SIGN
IN TENANT POSITION AS SHOWN.

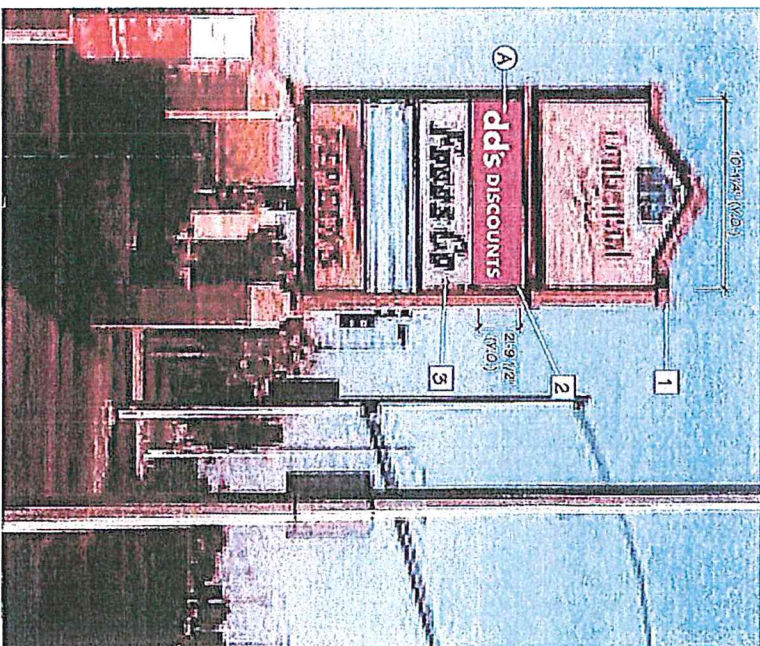
- ② PYLON STRUCTURE, FOOTINGS, CABINETS, FINISHES, LIGHTING
AND ELECTRICAL SERVICE PROVIDED AND MAINTAINED BY LANDLORD.
SIGN CONTRACTOR TO CHECK LAMPS, BALLASTS, AND WIRING AND REPAIR OR REPLACE AS NECESSARY.
- ③ NEW PLANK TENANT FACES PROVIDED BY LANDLORD
- ④ OTHER TENANT FACES SHOWN FOR REFERENCE ONLY



② "DD'S DISCOUNTS" TENANT FACE DETAIL

SCALE: 1" = 1'-0"

- Installation Instructions:
- FIELD VERIFY AND CONFIRM TO BMA EXACT FACE DIMENSIONS, STRUCTURE AND LIGHTING CONDITIONS
 - PROVIDE BMA WITH LOGO PLAT (PROOF) PRIOR TO FABRICATION
 - PROVIDE BMA WITH PHOTOS OF FINISHED DISPLAY



① D/F PYLON PHOTO RENDERING - NORTH/SOUTH

12TH AVENUE : SEE SHEET K FOR LOCATION

SCALE: N.T.S.

EXHIBIT 1
PAGE 3 OF 10

bill moore & associates
1027 JORDAN AVE.
P.O. BOX 6183
DUBLIN, CA 94568-0133
510/528-0296 fax 528-6072
www.billmoore.com



dd's
DISCOUNTS

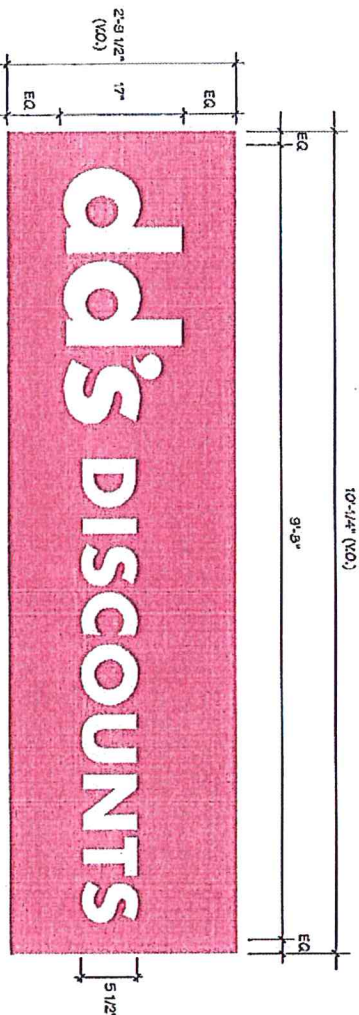
#5293 HANFORD
Centennial Plaza
NWC 12th Ave. & W. Lacey Blvd.
Hanford, CA

DRAWN
REV
03/20/15
03/25/15
05/26/15

SHEET
P1

- ① TENANT FACE DECORATION BY ROSS STORES, INC.
2'-9 1/2" H. X 10'-14" W. (VISIBLE OPENING) TUF-GLAS 620 FACES
FIRST SURFACE DECORATED WITH 3M 3630-118 INTENSE MAGENTA VINYL
CUT AND WEED OUT 17" H. "DD'S" AND 5 1/2" H. "DISCOUNTS"
LOGO COPY TO REVEAL WHITE.
- TWO (2) FACES REQUIRED: ONE (1) ON EACH SIDE OF DOUBLE-FACED PYLON SIGN
IN TENANT POSITION AS SHOWN.

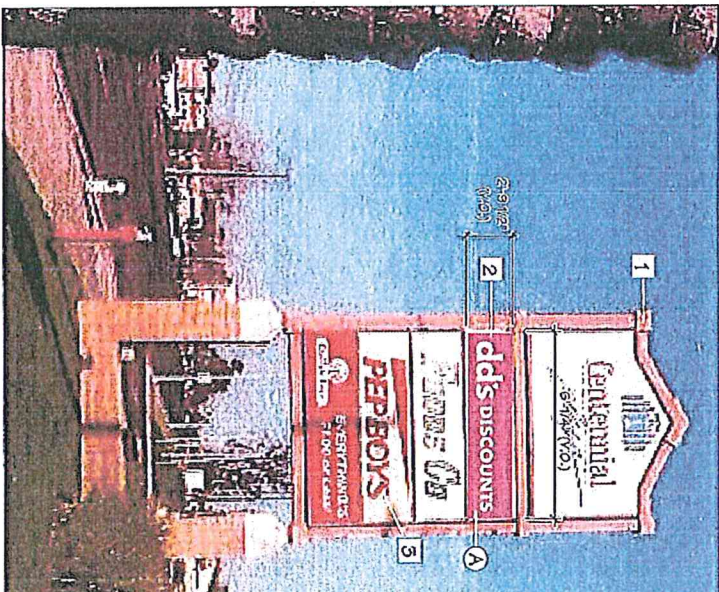
- ② PYLON STRUCTURE, FOOTINGS, CABINETS, FINISHES, LIGHTING,
AND ELECTRICAL SERVICE PROVIDED AND MAINTAINED BY LANDLORD.
SIGN CONTRACTOR TO CHECK LAMPS, BALLASTS, AND WIRING, AND REPAIR OR REPLACE AS NECESSARY.
SIGN CONTRACTOR TO REPAIR DD'S PERIMETER REMAINERS AND PAINT AS NECESSARY.
- ③ NEW BLANK TENANT FACES PROVIDED BY LANDLORD
- ④ OTHER TENANT FACES SHOWN FOR REFERENCE ONLY



② "DD'S DISCOUNTS" TENANT FACE DETAIL

SCALE: X" = 1'-0"

- Installation Instructions:
- FIELD VERIFY AND CONFIRM TO BMA EXACT FACE DIMENSIONS, STRUCTURE AND LIGHTING CONDITIONS
 - PROVIDE BMA WITH LOGO PLOT (P0007) PRIOR TO FABRICATION
 - PROVIDE BMA WITH PHOTOS OF FINISHED DISPLAY



① D/F PYLON PHOTO RENDERING - EAST/WEST

WEST LACEY BLVD.: SEE SHEET K FOR LOCATION

SCALE: N.T.S.

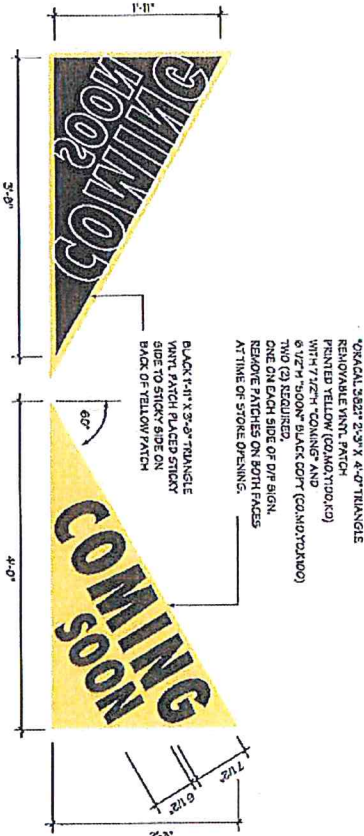
EXHIBIT 1
PAGE 4 OF 10

bmo
1027 24TH AVENUE
HANFORD, CA 91705-0133
510.724-0293 fax 510.606-6092
www.bimooriv.com

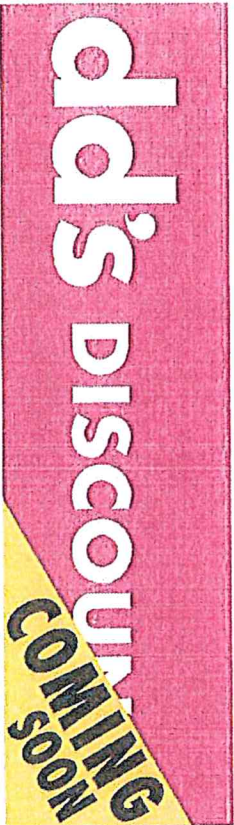
dd's
DISCOUNTS

#5293 HANFORD
Centennial Plaza
NWC 12th Ave. & W. Lacey Blvd.
Hanford, CA

drawn
REV
01/05/14
03/25/15
03/25/15
SHEET
P2



③ "COMING SOON" PATCH

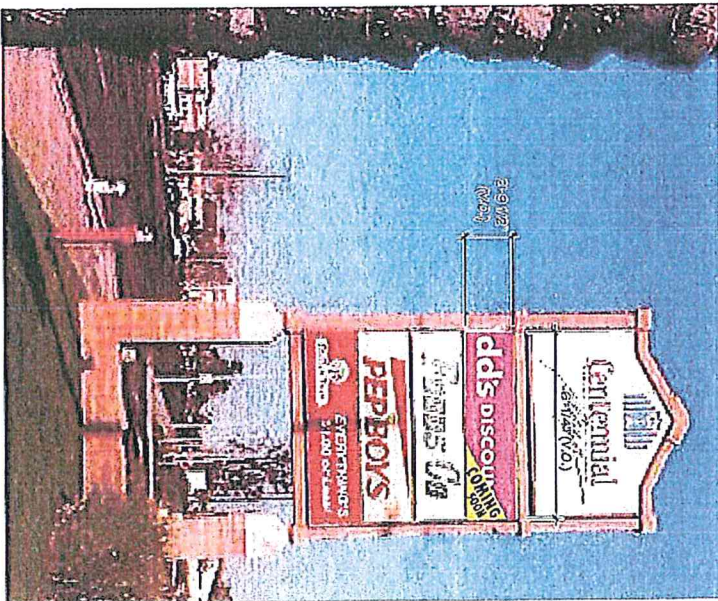


② "DD'S DISCOUNTS" TENANT FACE DETAIL

SCALE: 3/4" = 1'-0"

EXHIBIT 1
PAGE 10 OF 10

Notes:
SEE SHEET K FOR PYLON SIGN POSITION.
SEE SHEET P2 FOR PERMANENT DD'S SIGN FACE SPECIFICATIONS.
LANDLORD TO PROVIDE AND MAINTAIN PYLON STRUCTURE, CABINETS,
FINISHES, BLANK FACES, LIGHTING AND ELECTRICAL SERVICE.
DD'S TEMPORARY TENANT FACE DECORATION TO BE PROVIDED BY ROSE
STORES, INC.
ALL DIMENSIONS TO BE VERIFIED PRIOR TO FABRICATION.



① D/F PYLON PHOTO RENDERING - EAST/WEST
WEST LACEY BLVD. : SEE SHEET K FOR LOCATION
SCALE: N.T.S.

bill moore & associates
1557 30th Ave.
P.O. Box 615
Oakridge, CA 95062-0153
510/524-0299 fax 510/407-
www.bmoore.com



#5293 HANFORD
Centennial Plaza
NW 12th Ave. & W. Lacey Blvd.
Hanford, CA

drawn
02/24/15
03/26/15

SHEET
TP2

Notes:

THIS DRAWING FOR BANNER REFERENCE ONLY.
DO NOT INSTALL BANNERS ON DRYIT (ELFS) WALL(S) WITHOUT BANNER EYE-BOLTS. SEE NOTES IN RED ABOVE FOR INSTALLATION REQUIREMENTS. B.M.A. TO SEAL PATCH AND TOUCH UP ALL OTHER WALL PENETRATIONS ON REMOVAL OF BANNERS.
SAVE ALL BANNERS FOR REUSE.
ROSS STORES INC. RESERVES THE RIGHT TO INSTALL ANY OTHER TEMPORARY OPENING PROMOTIONAL MATERIAL OR ELEMENT THEY DEEM APPROPRIATE.

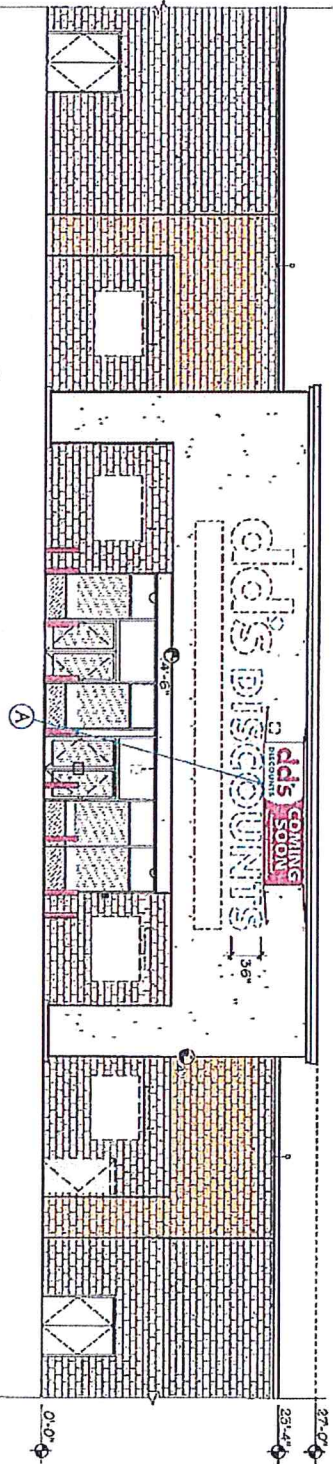
6'-0" H X 21'-0" W "DDS DISCOUNTS
COMING SOON" BANNER.
ONE (1) BANNER REQUIRED AS SHOWN.
SEE SHEET BMR, DETAILS 1 AND 7

WINDOW GRAPHICS INSTALLATION
TO BE CONFIRMED WITH
CONSTRUCTION MANAGER

ROSS CONTRACTOR TO MAINTAIN BANNER
IN VISIBLE POSITION ON STOREFRONT
AS CONSTRUCTION PROGRESSES

Installer:

- NEVER ATTACH BANNERS DIRECTLY TO ELFS, WALLS (CONCRETE, CMU, STUCCO, MASONRY VENEER ARE OK).
- IF FASCIA IS ELFS, VERIFY THAT EYE-BOLTS ARE PRESENT.
- IF YES, PROCEED WITH BANNER INSTALLATION AS SHOWN.
- IF NO EYE-BOLTS ARE PRESENT, DETERMINE IF BASE BUILDING CAN BE USED FOR BANNER INSTALLATION (ONLY IF NOT ELFS).
- IF YES, PROCEED WITH INSTALLATION, PLACING BANNER ON NON-ELFS WALLS.
- IF NO EYE-BOLTS ARE PRESENT AND NO NON-ELFS SURFACES ARE AVAILABLE, CALL BMA IMMEDIATELY. DO NOT INSTALL BANNERS.



1 STOREFRONT - SOUTH - W. LACEY BLVD. - ELEVATION

SCALE: 3/32" = 1'-0"

"COMING SOON"
BANNER

EXHIBIT 7
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#5293 HANFORD
Centennial Plaza
NW 12th Ave. & W. Lacey Blvd.
Hanford, CA

drawn
ALH
01/10/15
04/29/15
05/26/15

SHEET
01a

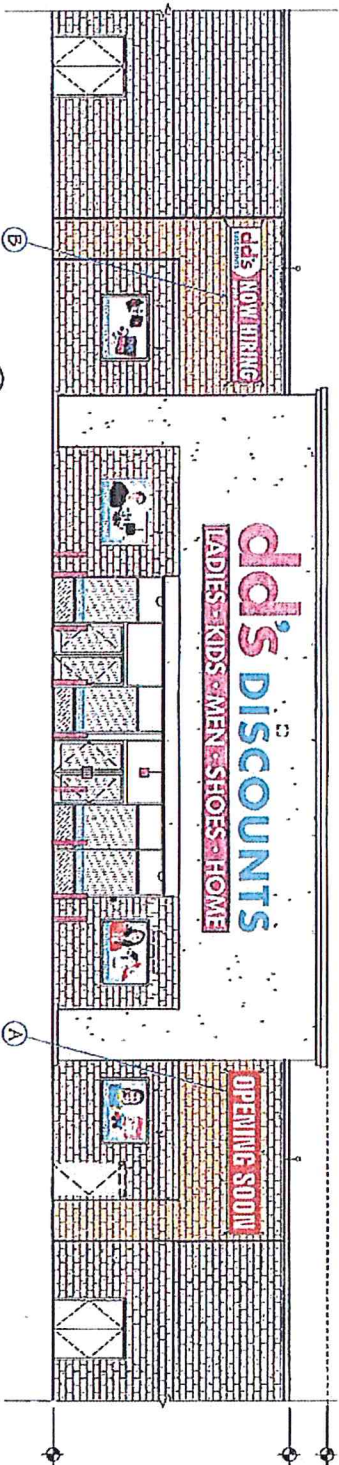
Notes:

THIS DRAWING FOR BANNER REFERENCE ONLY.
DO NOT INSTALL BANNERS ON DRYWALL (E.F.S.) WALLS WITHOUT BANNER EYE-BOLTS. SEE NOTES IN RED ABOVE FOR INSTALLATION REQUIREMENTS. B.M.A. TO SEAL, PATCH AND TOUCH UP ALL OTHER WALL PENETRATIONS ON REMOVAL OF BANNERS.
SAVE ALL BANNERS FOR REUSE.
ROSS STORES, INC. RESERVES THE RIGHT TO INSTALL ANY OTHER TEMPORARY OPENING PROMOTIONAL MATERIAL OR ELEMENT THEY DEEM APPROPRIATE.

- ① 3'-0" H X 16'-0" W "OPENING SOON" BANNER
ONE (1) BANNER REQUIRED AS SHOWN.
SEE SHEET BNR, DETAILS 2 AND 8
- ② 3'-0" H X 15'-0" W "NOW HIRING" BANNER
ONE (1) BANNER REQUIRED AS SHOWN.
SEE SHEET BNR, DETAILS 3 AND 8

WINDOW GRAPHICS INSTALLATION
TO BE CONFIRMED WITH
CONSTRUCTION MANAGER

- Installer:
- NEVER ATTACH BANNERS DIRECTLY TO E.F.S. WALLS (CONCRETE, CMU, STUCCO, MASONRY VENEER ARE OK).
 - IF FASCIA IS E.F.S., VERIFY THAT EYE-BOLTS ARE PRESENT.
 - IF YES, PROCEED WITH BANNER INSTALLATION AS SHOWN.
 - IF NO EYE-BOLTS ARE PRESENT, DETERMINE IF BASE BUILDING CAN BE USED FOR BANNER INSTALLATION (ONLY IF NOT E.F.S.).
 - IF YES, PROCEED WITH INSTALLATION, PLACING BANNER ON NON-E.F.S. WALLS.
 - IF NO EYE-BOLTS ARE PRESENT AND NO NON-E.F.S. SURFACES ARE AVAILABLE, CALL BMA IMMEDIATELY. DO NOT INSTALL BANNERS.



① STOREFRONT - SOUTH - W. LACEY BLVD. - ELEVATION

SCALE: 3/32" = 1'-0"

"OPENING SOON" &
"NOW HIRING" BANNER

EXHIBIT 1
PAGE 1 OF 10

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#5293 HANFORD
Centennial Plaza
NW 12th Ave. & W. Lacey Blvd.
Hanford, CA

01/10/15
01/10/15
01/10/15

SHEET
01b

Notes:

THIS DRAWING FOR BANNER REFERENCE ONLY.
DO NOT INSTALL BANNERS ON DRYVOT (ELF.S.) WALL(S) WITHOUT BANNER EYE-BOLTS. SEE NOTES IN RED ABOVE FOR INSTALLATION REQUIREMENTS. B.M.A. TO SEAL, PATCH AND TOUCH UP ALL OTHER WALL PENETRATIONS ON REMOVAL OF BANNERS.
SAVE ALL BANNERS FOR REUSE.
ROSS STORES INC. RESERVES THE RIGHT TO INSTALL ANY OTHER TEMPORARY OPENING PROMOTIONAL MATERIAL OR ELEMENT THEY DEEM APPROPRIATE.

- (A) 3'-0" H X 16'-0" W "GRAND OPENING" BANNER
ONE (1) BANNER REQUIRED AS SHOWN.
SEE SHEET BNR, DETAILS 4 AND 8
- (B) 3'-9" H X 22'-0" W "NEW FASHIONS START DAY" BANNER
ONE (1) BANNER REQUIRED AS SHOWN.
SEE SHEET BNR, DETAILS 5 AND 8
- (C) MAGENTA AND TEAL COLORED STEAMERS
TO BE STRUNG TO NEARBY LIGHT STANDARDS.
FIVE (5) TOTAL SINGLE STRINGS
(NOT TO EXCEED 80'-0")

WINDOW GRAPHICS INSTALLATION
TO BE CONFIRMED WITH
CONSTRUCTION MANAGER

- Installer:
- NEVER ATTACH BANNERS DIRECTLY TO ELF.S. WALLS (CONCRETE, CMU, STUCCO, MASONRY VENEER ARE OK).
 - IF FASCIA IS EIFS, VERIFY THAT EYE-BOLTS ARE PRESENT.
 - IF YES, PROCEED WITH BANNER INSTALLATION AS SHOWN.
 - IF NO EYE-BOLTS ARE PRESENT, DETERMINE IF BASE BUILDING CAN BE USED FOR BANNER INSTALLATION (ONLY IF NOT ELF.S.).
 - IF YES, PROCEED WITH INSTALLATION, PLACING BANNER ON NON-ELF.S. WALLS.
 - IF NO EYE-BOLTS ARE PRESENT AND NO NON-ELF.S. SURFACES ARE AVAILABLE, CALL BMA IMMEDIATELY. DO NOT INSTALL BANNERS.

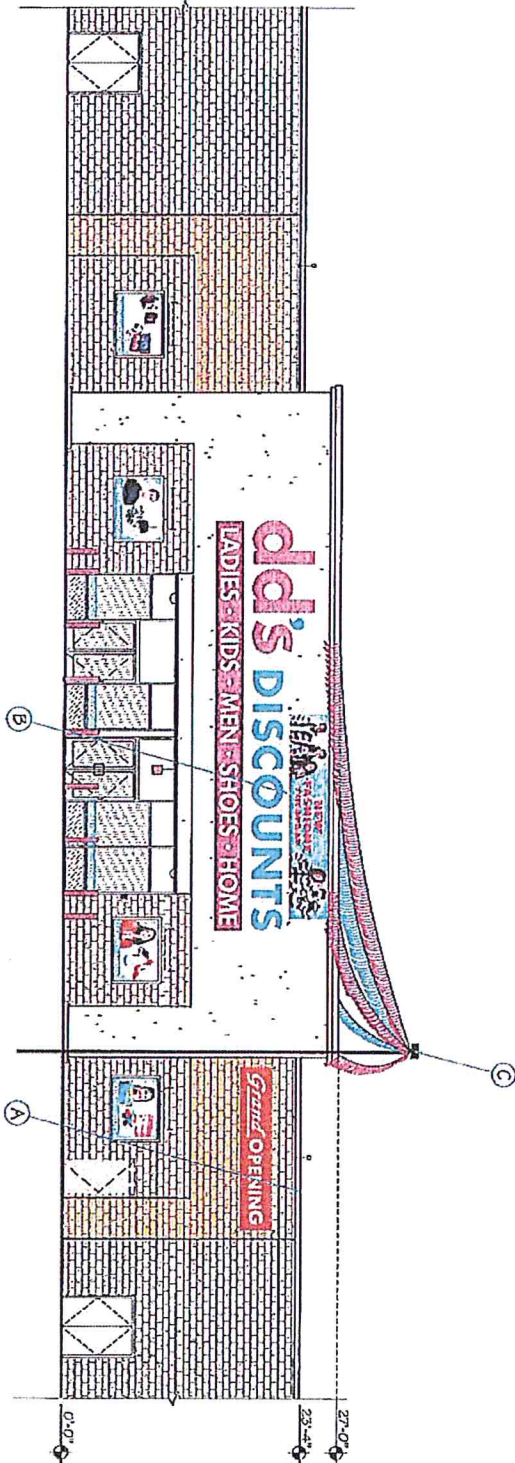


EXHIBIT 1
PAGE 8 OF 10

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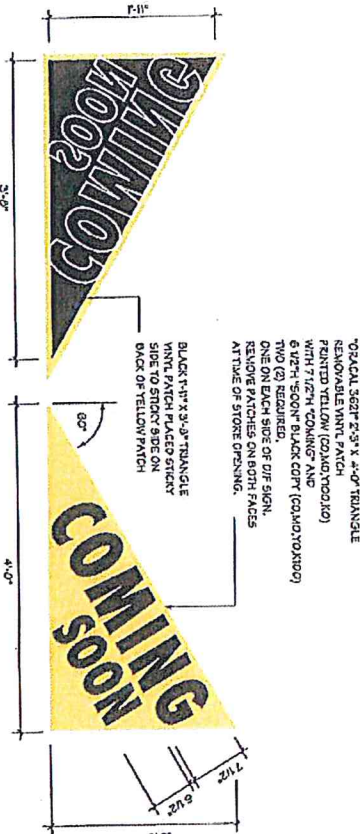
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Centennial Plaza
NW 12th Ave. & W. Lacey Blvd.
Hanford, CA

GO1

"GRAND OPENING" BANNER



③ "COMING SOON" PATCH



② "DD'S DISCOUNTS" TENANT FACE DETAIL

SCALE 3/4" = 1'-0"

EXHIBIT 1
PAGE 9 OF 10

NOTES:
SEE SHEET K FOR PYLON SIGN POSITION.
SEE SHEET P2 FOR PERMANENT DD'S SIGN FACE SPECIFICATIONS.
LANDLORD TO PROVIDE AND MAINTAIN PYLON STRUCTURE, CABINETS,
FINISHES, BLANK FACES, LIGHTING AND ELECTRICAL SERVICE.
DD'S* TEMPORARY TENANT FACE DECORATION TO BE PROVIDED BY ROSS
STORES, INC.
ALL DIMENSIONS TO BE VERIFIED PRIOR TO FABRICATION.

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dd's DISCOUNTS

#5293 HANFORD
Centennial Plaza
NW 12th Ave. & W. Lacey Blvd.
Hanford, CA

SHEET TP1
02/20/15
05/20/15

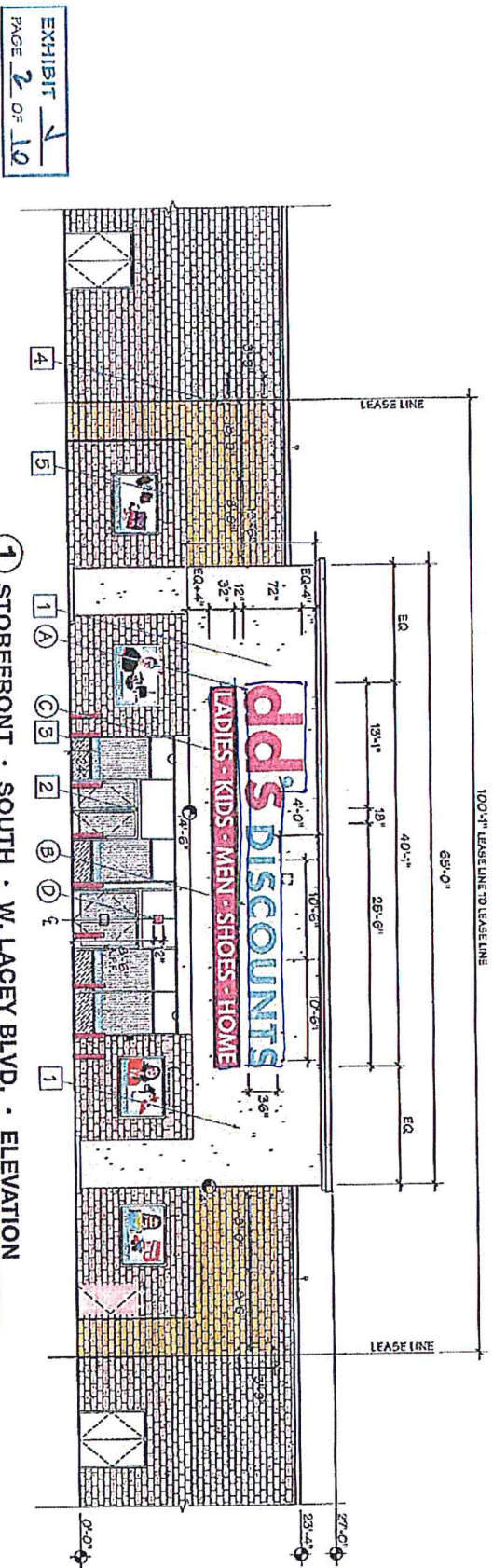
① D/F PYLON PHOTO RENDERING - NORTH/SOUTH
12TH AVENUE : SEE SHEET K FOR LOCATION
SCALE N.T.S.



Notes:

- ROSS CONTRACTOR TO REPAIR:
- ADEQUATE ACCESS BEHIND LOGO LETTERS AND CABINET FOR INSTALLATION AND MAINTENANCE. PER ARTICLE 600 OF THE N.E.C.
- FOUR (4) 20 AMP 125V ISOLATED AND GROUNDING BOXES TO AREA BEHIND SIGN LETTERS TO BE INSTALLED TO THE ENERGY MANAGEMENT SYSTEM AT LEAST 18" MINIMUM BACKING BEHIND ALL ELISA WALL SYSTEM FOR SIGN AND BANNER SUPPORT
- SIGN PASCAL TO BE FREE OF JOINTS & SEAMS, AND OF A LIGHT COLOR (MINIMUM 75% LRV), TO PROVIDE HIGH CONTRAST AND VISIBILITY FOR THE SIGN.
- ALL COLORS ARE SUBJECT TO ROSS STORES, INC. REVIEW AND APPROVAL. COLOR APPEARANCE MAY BE ALTERED BY PRINTING. SEE APPROVED FINAL CONSTRUCTION DRAWINGS FOR COLOR SPECIFICATIONS.
- IF ANY SIGNAGE PROPOSED IN THIS EXHIBIT IS ALTERED BY LOCAL GOVERNMENT AUTHORITIES, ROSS STORES, INC. RESERVES THE RIGHT TO, AT NO COST, ADJUST ARCHITECTURAL FEATURES TO BEST ACCOMMODATE THE ALTERED SIGNAGE.

- (A) 60" INDIVIDUAL, 70"5" PAN CHANNEL
FACES: 1/2" ALUMINUM 56 2248-ET PURPLE (21248-ET TEAL FOR APOSTROPHE) RETURNING 8" D ALUM. W/ WHITE FINISH TRIM CAR 2" WHITE JEWELITE LETTER MOUNTING: 1/4" X 20 GALVANIZED THRU BOLTS PER OFF: 1/2" SPACERS
- (B) 30" INDIVIDUAL, "DISCOUNTS" PAN CHANNEL
FACES: 1/2" ALUMINUM 56 2248-ET TEAL TRIM CAR 2" WHITE JEWELITE LETTER MOUNTING: 1/4" X 20 GALVANIZED THRU BOLTS PER OFF: 1/2" SPACERS
- (C) 24" X 24" X 1/2" 8" D SINGLE FACE INTERNALLY ILLUMINATED CABINET SIGN, 2" RETURNERS PAINTED TO MATCH MAGENTA, RETURNING 8" D ALUMINUM PAINTED MAGENTA TO MATCH PMS #248C MATTHEWS PHOTOGRAPHY GLOSSY FACET EXHAUSTION 30 WHITE 1/2" EX FACE ILLUMINATION: PHOTO LAMPS AND BALLASTS, UL MOUNTING: 1/4" X 20 GALVANIZED THRU BOLTS PER OFF: 1/2" SPACERS
- (D) 12" X 48" X 1/2" 8" D DOUBLE FACE INTERNALLY ILLUMINATED UNDERCANYOPY SIGN, UL, SEE SHEET UC FOR DETAILS.
- (1) SIGN PASCAL BY ROSS CONTRACTOR, SEE NOTES
- (2) CLEAR ANODIZED ALUMINUM STOREFRONT & DOORS BY ROSS CONTRACTOR
- (3) FROSTED WINDOW FILM BY ROSS CONTRACTOR
- (4) SET OF FIVE (5) STE-BOLTS FOR PASCAL CONTRACTOR, TWO 3/8" X 6'-0" AND ONE (1) 4'-0" X 21'-0" SET
- (5) TYPICAL WALL PANEL, W/LIGHTING BY ROSS CONTRACTOR, IMAGES MAY VARY FROM WHAT IS SHOWN, SEE SHEET WP FOR DETAILS.



VARIANCE

NE ALLOWED 200.116

40.003 FT
8.79 FT
3.91 SF
UNDER CANOPY = 4 SF
200.5 SF

1027 E 6TH ST.
P.O. BOX 6133
DENVER, CO 80206-0133
www.billmoore.com

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01/01/15
06/29/15
05/26/15

SHEET
S1

VAR 2015-03

Variation
Justification

511-0178

dd's DISCOUNTS
Centennial Plaza
NWC 12th Ave. & W. Lacey Blvd.
Hanford, CA

Background:

Ross Stores, Inc. currently operates 6 Ross Dress For Less and DD's Discounts stores in the greater Visalia area. These stores have proven to be an asset to the communities they serve. Opening the new dd's Discounts store in Hanford is evidence of Ross' plans to partner with the City, but they find that they need to bolster their identity by increasing the signage entitlements dictated by the City's zoning ordinance. Therefore, as agents of Ross Stores, Inc., we are applying for a variance requesting an increase in the maximum sign area.

The new dd's Discounts store will occupy the 22,500 sq. ft. of the former Walmart in Centennial Plaza. Their lease provides for a 100'-1" frontage. They will be employing around 50 full and part time employees.

Petitioner Justification:

1. What special circumstances applicable to the property, such as size, shape, topography, location or surroundings are present that strict application of the Municipal Code deprives the property of privileges enjoyed by other properties in the vicinity under the identical land use district classification?

Sign ordinances are generally written with consideration that most retail businesses abut the street frontage in the traditional manner of retail development. In this case, the store is set back from the street approximately 750 feet, roughly the length of a 2 ½ football fields from end to end.. This unique condition must be taken into account when considering the resulting size and proportion of the primary wall sign.

We feel that when the required 200 sq. ft. maximum "dd's DISCOUNTS" wall sign is viewed from such a distance, it will look disproportionately small when compared to the stores that are closer to West Lacey Blvd. and 12th Avenue.

2. Why is the granting of the variance necessary for the preservation and enjoyment of a substantial property right possessed by other properties in the vicinity and land use district and denied to this property?

As described above, the viewing distance from the street is significantly greater than nearby retail and service businesses. Many of these businesses either front the right-of-way (ROW) or are set back a minimal distance from the street. This

actually gives these businesses an unfair advantage over stores with significant setbacks. It should be clearly evident that a 200 sq. ft. wall sign located right next to the ROW gives that business an advantage over a store that is set back from the street by a long distance.

Ross Stores Inc., parent company of DD's Discounts, is requesting a 391 sq. ft. wall sign, where the City sets a 200 sq. ft. max. sign area. This difference only seems extreme because we are required to put a single, 4 sided box around the perimeter of the sign letters. Due to the logo copy configuration, there is a lot of background being counted as sign area. If we were to put a box around each word, the sign area would be 261 sq. ft. In essence, the City's requirement for calculating sign area is a hardship for DD's Discounts.

3. How will the granting of the variance not be materially detrimental to the public health, safety or welfare, or injurious to the property or improvements in the vicinity and land use district in which the property is located?

We believe that the addition of the proposed signage will actually be a material benefit to the public by assisting them in locating the store. *The Signage Sourcebook*, published by the Small Business Administration, has documented how properly sized and formatted signs can reduce traffic incidents, finding that small signs distract the driver because they can't find what they're looking for.

4. How would the granting of this variance not constitute a special privilege inconsistent with the limitations placed on other properties in the vicinity and in the same land use district?

What we are seeking here is a visual balance between large businesses that enjoy a close proximity to the arterial roadways as compared to the DD's Discounts that is set back from West Lacey Blvd. by about 750 feet. We do not believe this constitutes special privilege, but merely takes into account the visual proportion required to properly identify the business from such a great distance.

We are also asking for the Commission to consider allowing us to calculate the actual sign area by boxing each sign element as opposed to a single box required by code (see #2 above). We don't believe that this be considered a privilege, but a specific concession to the unusual sign configuration.

5. Will granting of the variance allow a use or activity which is prohibited in the land use district where the property is located?

No.

6. Will the granting of the variance be inconsistent with the General Plan?

The City of Hanford Land Use Element of the General Plan calls for the following Objectives. We believe the proposed signage qualifies under these objectives.

1. Encourage regional retail shopping in Hanford;
2. Conveniently serve current and future residential needs;
3. Provide employment opportunities;
4. Contribute to the attractiveness of the community;
5. Be Served by arterial streets; and,
6. Contribute to the City's tax base.

With this variance request, Ross Stores, Inc. is seeking to balance the visual perception of a sign that would appear smaller than those closer to the traffic corridors. It would also signify the relative importance DD's Discounts will play in the local economy.

We appreciate the opportunity to present our reasoning behind our request for limited relief from the City of Hanford's sign regulations. We feel that the purposes and intent of the ordinance and General Plan would be advanced by the requested deviations from the requirements and the benefits of such a deviation will substantially outweigh the detriment that would result in ineffective identification.

Notice of Exemption

Appendix E

To: Office of Planning and Research
P.O. Box 3044, Room 212
Sacramento, CA 95812-3044

From: City of Hanford (Planning Division)
317 North Douty Street
Hanford, CA 93230

County Clerk
County of Kings
Kings County Government Center
Hanford, CA 93230

Project Title: VAR 2015-03

Project Location – Specific: 1750 W Lacey Blvd (APN 009-050-016)

Project Location – City: Hanford **Project Location – County:** Kings County

Description of Nature, Purpose and Beneficiaries of Project: a request to deviate from the standards of the Municipal Code Section 17.44.050 to allow signage to exceed the maximum square footage of the “PC” Planned Commercial Zone District for the future DD’s Discount storefront.

Name of Public Agency Approving Project: City of Hanford, Planning Division

Name of Person or Agency Carrying Out Project: Fresno Neon Sign Company

Exempt Status: (check one)

- ☐ Ministerial (Sec. 21080(b)(1); 152698);
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269 (a));
- ☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
- ☒ Categorical Exemption: State type and section number: 15311, Accessory Structures
- ☐ Statutory Exemption. State code number:

Reasons why project is exempt:

- (a) The project consists of construction, or placement of minor structures accessory to an existing commercial facility

Lead Agency

Contact Person: Gabrielle de Silva **Area Code/ Telephone:** (559) 585-2578

Signature: _____ **Date:** November 10, 2015 **Title:** Assistant Planner

- ☒ Signed by Lead Agency **Date received for filing at OPR:** _____
- ☐ Signed by Applicant

Attachment: Exhibit D - CEQA Exemption (1200 : VAR 2015-03 (DD's Discounts))